



**ARCHITECTURAL REVIEW BOARD  
MUNICIPAL PLANNING COMMISSION  
-AGENDA-  
Thursday, December 8, 2016 at 7:00 P.M.**

Louis J. R. Goorey Worthington Municipal Building  
The John P. Coleman Council Chamber  
*6550 North High Street  
Worthington, Ohio 43085*

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**A. Call to Order - 7:00 pm**

1. Roll Call
2. Pledge of Allegiance
3. Approval of minutes of the November 10, 2016 meeting
4. Affirmation/swearing in of witnesses

**B. Municipal Planning Commission**

**1. Conditional Use**

- a. Recreational Facility in C-5 Zoning District – **679-D High St.** (Shoma Jha/Centered Yoga & Movement) **CU 17-16**

**C. Architectural Review Board**

**1. Unfinished**

- a. Sign – **882 High St.** (Greg & Phil Giessler/Cam Taylor) **AR 101-16**
- b. Holiday Inn Site Redevelopment – **7007 N. High St.** (Alliance Hospitality, Inc.) **AR 32-16**

## **2. New**

- a. New Gasoline/Convenience Store Station – Extension of Approval with Amendments – **2182 W. Dublin-Granville Rd.** (United Dairy Farmers, Inc.) **AR 128-16** (AR 45-14)
  
- b. Solar Panels – **661 Evening St.** (Allen Eiger & Joanne Dole) **AR 129-16**
  
- c. Fence – **215 E. Granville Rd.** (Rebecca Ament) **AR 130-16**

## **D. Other**

## **E. Adjournment**



## MEMORANDUM

TO: Members of the Architectural Review Board  
Members of the Municipal Planning Commission

FROM: Lynda Bitar, Planning Coordinator

DATE: December 2, 2016

SUBJECT: Staff Memo for the Meeting of December 8, 2016

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### **B. Municipal Planning Commission**

#### **1. Conditional Use**

- a. Recreational Facility in C-5 Zoning District – **679-D High St.** (Shoma Jha/Centered Yoga & Movement) **CU 17-16**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

This commercial building was constructed in the mid-1980's, and has housed a mixture of retail businesses, offices, personal services and entertainment facilities over the years. This request is for approval to operate a yoga studio on the second floor at the west end of the building. The space was most recently occupied by Cut, Color, Style.

#### **Project Details:**

1. Centered Yoga and Movement would operate in the roughly 36' x 28' second floor space, which would also include a small office area. The first floor entrance is accessed from the courtyard at the back of the building, and leads not only to stairs but also a coatroom and restroom on the first floor. Other than the addition of the business name to the signage, no other exterior modifications are proposed.
2. The owner expects to have 10-12 people per each class, starting with a couple of classes a day. A variety of yoga and movement classes would be offered to clients of all ages.

**Basic Standards and Review Elements:** The following general elements are to be considered when hearing applications for Conditional Use Permits:

1. Effect on traffic pattern – Parking would be shared with the other Old Worthington businesses in the municipal parking lot. Clients should park in locations other than the spaces on High St.
2. Effect on public facilities – No effect has been identified.
3. Effect on sewerage and drainage facilities – The effect would be minimal.
4. Utilities required – No new utilities would be required.
5. Safety and health considerations – None have been identified.
6. Noise, odors and other noxious elements, including hazardous substances and other environmental hazards – None have been identified.
7. Hours of use – Varied times daily between 7:00 am to 9:00 pm.
8. Shielding or screening considerations for neighbors – Not applicable.
9. Appearance and compatibility with the general neighborhood – Signage would match the previously approved.

### **Land Use Plans:**

#### Worthington Conditional Use Permit Regulations

The following basic standards apply to conditional uses in any "C" or "I" District: the location, size, nature and intensity of the use, operations involved in or conducted in connection with it, its site layout and its relation to streets giving access to it, shall be such that both pedestrian and vehicular traffic to and from it will not be hazardous, both at the time and as the same may be expected to increase with increasing development of the Municipality. The provisions for parking, screening, setback, lighting, loading and service areas and sign location and area shall also be specified by the applicant and considered by the Commission. Recreational Facilities are a conditionally permitted use in the C-5 Zoning District.

#### Worthington Design Guidelines, Architectural District Ordinance and Comprehensive Plan

A good mix of restaurant and niche retail shops are appropriate for Old Worthington according to the Comprehensive Plan. Old Worthington is the heart and symbol of the Worthington community and it is one of the most successful original town centers in Ohio. Focus retail uses to the High Street corridor with particular attention on retail for first floors in Old Worthington.

### **Recommendations:**

Staff is recommending *approval* of the application, with a commitment by the business owner to direct clients away from the parking spaces on High St. as they should be reserved for retail and restaurant customers. The proposed use is appropriate for the second floor in this location, and meets the basic standards for conditional uses.

### **Motion:**

**THAT THE REQUEST BY SHOMA JHA FOR A CONDITIONAL USE PERMIT TO OPERATE A RECREATIONAL FACILITY ON THE SECOND FLOOR AT 679-D HIGH ST., AS PER CASE NO. CU 17-16 DRAWINGS NO. CU 17-16, DATED NOVEMBER 23, 2016, BE APPROVED BASED ON THE PLANNING GOALS OF THE CITY, AS REFERENCED IN THE LAND USE PLANS AND FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

## **C. Architectural Review Board**

### **1. Unfinished**

- a. Freestanding Sign Modification – **882 High St.** (Greg & Phil Giessler/Cam Taylor) **AR 101-16**

### **Findings of Fact & Conclusions**

#### **Background & Request:**

This building was constructed in 1987 and the property owners recently made improvements to the front entry of the building. This application is a request for approval to modify the freestanding sign. The request was originally on the September 8, 2016 agenda, but was tabled without discussion.

#### **Project Details:**

1. The plan involves replacement of the sign faces in the existing sign, and possibly repainting the sign box and post.
2. For the sign faces, three sections are proposed. The top would have Cam Taylor in bold red lettering and the web address in blue on a white background. In the middle would be the relocation network for the business, saying “Leading Real Estate Companies of the World” in 2 fonts and 3 sizes of white lettering on a red background. At the bottom, another logo comprised of white lettering on a blue background saying “Love your house; Love your neighborhood; Love Columbus” is proposed with 2 realtor symbols.
3. The sign is internally illuminated and the background, lettering and logos would be illuminated.
4. Once the graphic portion of a sign is replaced, it is supposed to be in conformance with the Code. Variances would be needed for the number of letter styles and sizes, and for having an internally illuminated background.

#### **Land Use Plans:**

##### **Worthington Design Guidelines and Architectural District Ordinance**

The Worthington Design Guidelines and Architectural District Ordinance recommend signs be efficient and compatible with the age and architecture of the building. While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the “monument” type (standing vertically, mounted on a ground-level base and not on a pole); they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

**Recommendation:**

Staff is recommending *modification* of this application. Basic business names, graphics and addresses on signs provide a simpler and clearer view for motorists. At the very least, matching as many fonts and sizes of lettering as possible would help to simplify the look of the sign.

**Motion:**

**THAT THE REQUEST BY GREG AND PHIL GIESSLER FOR A CERTIFICATE OF APPROPRIATENESS TO MODIFY THE FREESTANDING SIGN AT 882 HIGH ST., AS PER CASE NO. AR 101-16, DRAWINGS NO. AR 101-16, DATED JULY 15, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

b. Holiday Inn Site Redevelopment – **7007 N. High St.** (Alliance Hospitality, Inc.) **AR 32-16**

**Findings of Fact & Conclusions**

**Background & Request:**

This roughly 7.5 acre parcel, zoned C-4, Highway and Automotive Services, has been home to a hotel since 1975. The original approval was for a Hilton Inn. The brand has changed several times over the years with the most recent being the conversion to a Holiday Inn in 2007, which included many upgrades to the building and site.

The owner is proposing demolition of the existing hotel, and redevelopment of the site with a mix of uses. Concepts for the site were discussed at the March 10<sup>th</sup>, June 23<sup>rd</sup>, and November 10<sup>th</sup> ARB meetings, at which the applicant received feedback from the Board and the public. This submittal contains revisions of the architectural drawings; a drawing with the proposed buildings and the existing building together; and minor changes to the site plan. Changes to the lighting and landscaping have not been submitted.

*Previous comments are italicized.*

**Project Details:**

1. *Uses:*

- *Two hotels, with 110 guest rooms and 95 guest rooms, are proposed. The existing Holiday Inn has 232 guest rooms.*
- *Other potential uses on the site are describe as restaurants and professional services.*
- *In the C-4 Zoning District, personal and business services and hotels are Permitted Uses. Restaurants and offices (professional services) are Conditional Uses needing approval from the MPC.*

2. *Site Plan and Landscaping:*

- *The proposed plan shows an entrance to the site from each of the adjacent rights-of-way. All three entrances would be situated similarly to existing site entrances. On W. Wilson Bridge Rd., the entrance is proposed at the west end; on Caren Ave. the proposed entrance is toward the middle of the site but on the eastern half; and on N. High St. the entrance would be near the middle of the site. Elimination of an existing*

- entrance toward the east end of the site on W. Wilson Bridge Rd. is proposed.*
- *The buildings are laid out as in the last submission, concentrated to the north and east sides of the site, being further away from the adjacent residential than the existing hotel.*
  - *W. Wilson Bridge Rd. - Three buildings are proposed along W. Wilson Bridge Rd. about 36' from the roadway and 20' from the existing right-of-way line. The City has requested an additional 15' of right-of-way be dedicated, so the building would be 5' from the new line. In addition to the existing grass strip and sidewalk in the right-of-way, an area to plant street trees and a sidewalk adjacent to the buildings are proposed. Two pedestrian access points would be provided between the buildings which would also allow for restaurant seating areas.*
    - *At the west end of the site would be the drive entrance with one lane in and two lanes out, separate by an island with trees.*
    - *A small parking area with a screen wall would be adjacent to the east. Included is a service area that apparently leads to interior storage of trash, etc. Clarification of how service areas work is needed for the entire site.*
    - *Building #1 – This building would be about 158' from the west property line, and 95' wide. The building is designated for professional services.*
    - *Building #2 - A 140' wide restaurant is proposed 40' west of Building #1 with a pedestrian access, planting and seating area between the buildings.*
    - *Building #3 - At the east end would be a 131' wide building housing a 95 key hotel, and a restaurant on the first floor. Between Buildings #2 and #3 would be a 51' wide pedestrian access, planting and seating area. Building #3 would be 17' from the east property, at the rear of the BP site.*
  - *Building #4 – This building would be a 110 key hotel located about 153' from the south property line and 225' from the west property line. A 3987 square foot restaurant would be on the first floor at the west end of the hotel.*
  - *A traffic circle denoted as the “Village Square” is proposed between Buildings #2, 3 & 4, with a fountain in the middle. The areas adjacent to the traffic lanes would provide pedestrian access, planting and seating opportunities. The road leading to the “Village Square” from the W. Wilson Bridge Rd. entrance would be tree-lined, and have sidewalks and parallel parking. From the south entrance off of Caren Ave., there would also be tree islands and a sidewalk to accommodate pedestrians.*
  - *N. High St. – Two buildings are proposed along the N. High St. frontage with a drive entrance between. The buildings are now proposed about 20' from the existing right-of-way, which is an additional 5' from the last proposal. Right-of-way dedication of 15' is now shown on the plan. Both buildings would be lower than the street due to the dramatic change in grade west from N. High St. There would be sidewalks extending from both N. High St. and Caren Ave. to these buildings, with a pedestrian connection between the buildings.*
    - *Building #5 – This building is shown 16' from the BP property line; 68' in width; and 72' deep. The building was reduced in size to accommodate the additional setback while retaining parking. It is designated as a restaurant. Additional accessible parking may be required in closer proximity to the building.*
    - *Building # 6 – Designated as a professional service building, this building would be 73' wide along N. High St. and 128' wide along Caren Ave.*

- *A sidewalk is shown along the southern edge of the site, with access to the public sidewalk east of the Caren Ave. entrance, and at the southwest corner of Building #6.*
  - *Stairs to the existing sidewalk west of the site are planned to allow pedestrian access for the residents.*
  - *The remainder of the site would be surface parking with tree islands added. The applicant calculates 517 parking spaces would be required on the site based on the proposed uses, and 388 spaces are being provided. Should there be any times the site could not accommodate all of the guests, parking agreements with property owners to the south may be possible. Any parking agreements obtained would be subject to approval by the Board of Zoning Appeals with the variance request.*
  - *A combination of evergreen and deciduous trees and shrubs are proposed to be densely planted along the west and south property lines adjacent to the existing residential properties.*
  - *The Arbor Advisory Committee reviewed the plans and made the following comments:*
    - *Pyrus Calleryana (Cleveland Select) Pear trees can hybridize and are now being considered an invasive species by some, and should not be used.*
    - *Street trees species recommendations: Exclamation London Plane; Espresso Kentucky Coffeetree; Nyssa Sylvatica “Red Rage” or “Wildfire” – Not Tupelo Tower*
    - *Low shrubs (Taxus?) should be added along Caren Ave.*
    - *Only native species should be used in Caren lot (not sure if that is already the case).*
    - *Diversify screen planting around BP station – add arborvitae, etc.*
    - *West/southwest screening recommendations – Viburnum Prunifolium, Canadian hemlock, Cornelian Cherry Dogwood, Arborvitae, Serbian Spruce, Winterberry and ilex x meserveae Holly. The Committee thought the Blue Spruce, which needs full sun, may not be ideal for that planting in the quantities shown.*
    - *Need to see specs for planting (not sure what ODOT specs are)*
    - *Need appropriate bed depth and type of fill in parking islands*
    - *Why are there not any foundation plantings?*
  - *Consideration should be given to burying overhead utility lines at the south property line.*
  - *A storm water plan will be required.*
  - *A preliminary traffic study has been submitted, but additional information will be needed to determine the viability of installation of a traffic signal at the W. Wilson Bridge Rd. entrance.*
3. *Buildings:*
- *The buildings are all shown as having four-sided architecture that is described as Colonial style. A variety of building heights, roof forms, materials and details are proposed across the site. Specific material and color combinations have been added to the submittal. The siding would be cementitious, and the proposed slate roof would be a manufactured material. Storage of mechanical equipment on the roof would likely be possible on all buildings.*
  - *Building #1 –*
    - *One-story; 6967 square feet (sf); professional services*
    - *Combination of different gabled roof lines to give the look of many different 1 ½*

- story buildings; Weathered Green slate and Weathered Zinc standing seam metal roofing*
  - *South side entrance only; service door on west with screen wall at service area adjacent to parking*
  - *Four bricks Redburn, Battlecreek, Illini Commons and Ridgeland; beaded lap siding in Moir Gold, Bassett Hall Green and Chesapeake Blue; divided light windows; chimneys*
- *Building #2 –*
  - *One story; 10,099 sf; restaurant*
  - *Combination of different roof lines to give the look of many different 1½ and 2 story buildings; Weathered Green and Slate Gray slate roofing, Medium Bronze and Colonial Red standing seam metal roofing*
  - *Entrances on the south, east and west sides; service entrances on the north side*
  - *Three bricks Redburn, Celtic Grey, Ellsworth; lap siding in Ewing Blue, Greenhow Vermillion, and Governor’s Gold; divided light windows on first and second floors, storefront windows, chimneys, dormers, awnings*
- *Building #3 –*
  - *Four story hotel with 3264 sf restaurant space on first floor (northwest corner)*
  - *Look of hipped roof with Weathered Green slate roofing, Aged Copper standing seam metal roofing*
  - *Main hotel entrance on west side, fitness center entrance on north side; restaurant entrances on west and south sides*
  - *Four bricks Aberdeen, Celtic Grey, Rustic Burgundy, and Ashland; lap siding in Governor’s Gold; stone veneer – Bucks Country Limestone*
  - *Divided light windows with and without shutters, store front windows, trellis, brick detailing*
- *Building #4 –*
  - *Four story hotel with 3987 sf restaurant space on first floor (west end)*
  - *Look of hipped and mansard roofs; with Weathered Green slate roofing, Weathered Zinc standing seam metal roofing*
  - *Main hotel entrance on north side; restaurant entrances on west and north sides*
  - *Three bricks Redburn, Celtic Grey, and Ellsworth; lap siding in Moir Gold, Bassett Hall Green, and Dragons Blood; stone veneer – Southern LedgeStone Aspen*
  - *Divided light windows with and without shutters, store front windows, dormers, brick detailing, arched entry for hotel and passageway between hotel and restaurant*
- *Building #5 –*
  - *One story; 5134 sf; restaurant space*
  - *Two gabled roofs with Weathered Green slate roofing running east and west, connected with a flat roof with Aged Copper standing seam metal roofing*
  - *Entrances on the west side*
  - *Ellsworth brick, Tavern Charcoal lap siding, divided light windows on second floors, storefront windows, awnings*
- *Building #6 –*
  - *Two story; 16,292 sf; professional services space*
  - *Combination of mansard and gabled with Weathered Zinc standing seam metal*

- Entrance on the north side; service entrance on the west side
  - Illini Commons brick, Chesapeake Blue lap siding, divided light windows on first and second floors, two-story features
4. *Lighting:*
    - A lighting plan has been submitted, and includes photometrics and catalogue cuts of fixtures. The photometric plan shows some light level spilling onto adjacent properties.
    - A variety of light fixtures are proposed for the buildings.
  5. *Signage:*
    - Signage review will be required.
  6. *Variances:*
    - Application to the Board of Zoning Appeals would be required to approve any variances requested for the site.
    - The applicant is applying as part of the C-4 Zoning District, but is also trying to meet the requirements for the Wilson Bridge Corridor. Variances would likely be needed for setback, building height and parking not meeting the C-4 regulations.
  7. *Conditional Use Permits:*
    - Needed for offices

***Land Use Plans:***

*Worthington Design Guidelines and Architectural District Ordinance*

1. *Scale, Form & Massing:* Simple geometric forms and uncomplicated massing tend to make buildings more user-friendly and help to extend the character of Old Worthington into the newer development areas. Inclusion of sidewalks, pedestrian-scaled signage, and planting and lawn areas will help communicate a sense of a walkable pedestrian scale. Carefully designed building facades that employ traditional storefronts -- or similarly-sized windows on the first floor -- will help make new buildings more pedestrian-friendly.
2. *Setbacks:* Parking areas should be located toward the rear and not in the front setbacks if at all possible. Unimpeded pedestrian access to the front building facade from the sidewalk should be a primary goal. Building up to the required setback is desirable as a means of getting pedestrians closer to the building and into the main entrance as easily as possible.
3. *Roof Shape:* Generally, a traditional roof shape such as gable or hip is preferable to a flat roof on a new building. Roof shapes should be in scale with the buildings on which they are placed. Study traditional building designs in Old Worthington to get a sense of how much of the facade composition is wall surface and how much is roof.
4. *Materials:* Traditional materials such as wood and brick are desirable in newer areas, but other materials are also acceptable. These include various metals and plastics; poured concrete and concrete block should be confined primarily to foundation walls. Avoid any use of glass with highly reflective coatings. Some of these may have a blue, orange, or silver color and can be as reflective as mirrors; they generally are not compatible with other development in Worthington. Before making a final selection of materials, prepare a sample board with preferred and optional materials.
5. *Windows:* On long facades, consider breaking the composition down into smaller "storefront" units, with some variation in first and upper floor window design. Use traditional sizes, proportions and spacing for first and upper floor windows. Doing so will help link Old Worthington and newer areas through consistent design elements.

6. *Entries: Primary building entrances should be on the street-facing principal facade. Rear or side entries from parking lots are desirable, but primary emphasis should be given to the street entry. Use simple door and trim designs compatible with both the building and with adjacent and nearby development.*
7. *Ornamentation: Use ornamentation sparingly in new developments. Decorative treatments at entries, windows and cornices can work well in distinguishing a building and giving it character, but only a few such elements can achieve the desired effect. Traditional wood ornamentation is the simplest to build, but on new buildings it is possible to use substitute materials such as metal and fiberglass. On brick buildings substitute materials can be used to resemble the stone or metal ornamental elements traditionally found on older brick buildings. As with all ornamentation, simple designs and limited quantities give the best results.*
8. *Color: For new brick buildings, consider letting the natural brick color be the body color, and select trim colors that are compatible with the color of the bricks. Prepare a color board showing proposed colors.*
9. *Signage: While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the “monument” type; they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with the age, architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as “fluorescent orange” and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.*
10. *Sustainability: The City of Worthington and its Architectural Review Board are interested in encouraging sustainable design and building practices, while preserving the character and integrity of the Architectural Review District. Energy conservation methods are encouraged. Landscape concepts often complement energy conservation and should be maintained and replenished. Utilize indigenous plant materials, trees, and landscape features, especially those which perform passive solar energy functions such as sun shading and wind breaks. Preserve and enhance green/open spaces wherever practicable. Manage storm water run-off through the use of rain gardens, permeable forms of pavement, rain barrels and other such means that conserve water and filter pollutants. Bike racks and other methods of facilitating alternative transportation should be utilized. Streetscape elements should be of a human scale. Make use of recycled materials; rapidly renewable materials; and energy efficient materials. Use of natural and controlled light for interior spaces and natural ventilation is recommended. Minimize light pollution.*

### Wilson Bridge Corridor

#### *Site Layout:*

*Setbacks: Buildings and parking should be set back to provide a buffer between the sidewalk and building, with some variations in the Building Setback Line encouraged throughout the WBC.*

- *Buildings 50,000 square feet in area or less shall be located between 5' and 20' from adjacent Right-of-Way Lines. Buildings greater than 50,000 square feet in area shall be located at least 20' from adjacent Right-of-Way lines.*
- *Buildings on properties abutting properties in "R" districts shall not be located closer than 50' to the property line. Parking facilities and access drives on properties abutting properties in "R" districts shall not be located closer than 25' to the property line.*
- *Setback areas in front of retail uses shall be primarily hardscaped, and may be used for outdoor dining and other commercial activities.*
- *As building height increases, the buildings should consider the relationship between the setback, the street corridor, and the building height. A variety of techniques will be implemented to mitigate any potential "canyon/tunneling" effect along the corridor, such as the use of floor terracing, changes in building massing, insertion of a green commons, recessed seating and dining areas, and lush landscaping.*

*Right-of-Way Dedication: Dedication of Right-of-Way may be required to accommodate public improvements.*

*Screening: All development on parcels abutting properties in "R" districts shall be permanently screened in the setback area with the combination of a solid screen and landscape screening. The solid screen shall consist of a wall or fence at least 6' in height and maintained in good condition without any advertising thereon. Supporting members for walls or fences shall be installed so as not to be visible from any other property which adjoins or faces the fences or walls. This shall not apply to walls or fences with vertical supporting members designed to be identical in appearance on both sides. Landscape screening shall consist of one of the following options at a minimum:*

- *One large evergreen tree with an ultimate height of 40' or greater for every 20 linear feet, plus one medium evergreen tree with an ultimate height of 20' to 40' for every 10 linear feet. Evergreen trees shall be at least 6' in height at the time of planting. Shrubs and ornamental grasses shall be incorporated into the setback area as to complement the tree plantings. A minimum of one shrub or ornamental grass, at least 24" in height, shall be provided for every 5 linear feet. Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.*
- *One large deciduous tree with an ultimate height of 50' or greater for every 25 linear feet, plus one medium deciduous tree with an ultimate height of 20' to 40' for every 15 linear feet. Shrubs and ornamental grasses shall be incorporated into the setback area as to complement the tree plantings. A minimum of one shrub or ornamental grass, at least 24" in height, shall be provided for every 5 linear feet. Shrubs and grasses may be planted in clusters and do not need to be evenly spaced.*

*Equipment: Exterior service, utility, trash, and mechanical equipment shall be located to the rear of buildings if possible and screened from view with a wall, fence or landscaping. Such equipment shall be completely screened from view. Materials shall be consistent with those used in the building and/or site. Equipment located on buildings shall match the color of the building.*

*Tract Coverage: A maximum of 75% of the property shall be covered with impervious surfaces.*

*Pedestrian Access: Sidewalks with a minimum width of 5', Recreation Paths with a minimum width of 10', or a combination of both shall be provided along all Rights-of-Way. Pedestrian*

*connections from Sidewalks, Recreation Paths and parking lots to building entrances shall be provided.*

*Landscaping: There shall be landscaping that complements other site features and creates relief from buildings, parking areas and other man-made elements.*

- Drought tolerant, salt tolerant, non-invasive, low maintenance trees and shrubs should be utilized.*
- Deciduous trees shall be a minimum of 2" caliper at the time of installation; evergreen trees shall be a minimum of 6' in height at the time of installation; and shrubs shall be a minimum of 24" in height at the time of installation.*
- Parking lot landscaping shall be required per the provisions in Chapter 1171.*
- Seasonal plantings should be incorporated into the landscape plan.*
- The approved landscape plan must be maintained across the life of the development.*

*Building Design:*

- A principal building shall be oriented parallel to Wilson Bridge Road (or High Street), or as parallel as the site permits, and should have an operational entry facing the street.*
- The height of a building shall be a minimum of 18' for flat roof buildings measured to the top of the parapet, or 12' for pitched roof buildings measured to the eave.*
- Extensive blank walls that detract from the experience and appearance of an active streetscape should be avoided.*
- Building Frontage that exceeds a width of 50' shall incorporate articulation and offset of the wall plane to prevent a large span of blank wall and add interest to the facade.*
- Details and materials shall be varied horizontally to provide scale and three-dimensional qualities to the building.*
- Entrances shall be well-marked to cue access and use, with public entrances to a building enhanced through compatible architectural or graphic treatment.*
- When designing for different uses, an identifiable break between the building's ground floors and upper floors shall be provided. This break may include a change in material, change in fenestration pattern or similar means.*
- Where appropriate, shade and shadow created by reveals, surface changes, overhangs and sunshades to provide sustainable benefits and visual interest should be used.*
- Roof-mounted mechanical equipment shall be screened from view on all four sides to the height of the equipment. The materials used in screening must be architecturally compatible with the rooftop and the aesthetic character of the building.*

*Materials:*

- Any new building or redevelopment of a building façade should include, at a minimum, 75% of materials consisting of full set clay bricks, stone, cultured stone, wood or fiber cement board siding. Samples must be provided.*
- Vinyl siding and other less durable materials should not be used.*
- Long-lived and sustainable materials should be used.*
- The material palette should provide variety and reinforce massing and changes in the horizontal or vertical plane.*
- Especially durable materials on ground floor façades should be used.*
- Generally, exterior insulation finishing systems (EIFS), are not preferred material types.*
- A variety of textures that bear a direct relationship to the building's massing and structural elements to provide visual variety and depth should be provided.*

- *The color palette shall be designed to reinforce building identity and complement changes in the horizontal or vertical plane.*

*Windows and Doors:*

- *Ground-floor window and door glazing shall be transparent and non-reflective. Above the ground floor, both curtain wall and window/door glazing shall have the minimum reflectivity needed to achieve energy efficiency standards. Non-reflective coating or tints are preferred.*
- *Windows and doors shall be recessed from the exterior building wall, except where inappropriate to the building's architectural style.*
- *For a primary building frontage of a commercial use, a minimum of 30% of the area between the height of 2' and 10' above grade shall be in clear window glass that permits a full, unobstructed view of the interior to a depth of at least 4'.*

*Lighting: All exterior lighting shall be integrated with the building design and site and shall contribute to the night-time experience, including façade lighting, sign and display window illumination, landscape, parking lot, and streetscape lighting.*

- *The average illumination level shall not exceed 3 footcandles. The light level along a property line shall not exceed 0 footcandles.*
- *The height of parking lot lighting shall not exceed 15' above grade and shall direct light downward. Parking lot lighting shall be accomplished from poles within the lot, and not building-mounted lights.*
- *For pedestrian walkways, decorative low light level fixtures shall be used and the height of the fixture shall not exceed 12' above grade.*
- *Security lighting shall be full cut-off type fixtures, shielded and aimed so that illumination is directed to the designated areas with the lowest possible illumination level to effectively allow surveillance.*

*Signs:*

*Exterior lighting fixtures are the preferred source of illumination.*

- *Freestanding Signs*
  - *There shall be no more than one freestanding sign on parcels less than 2 acres in size, and no more than two freestanding signs on parcels 2 acres in size or greater.*
  - *Freestanding signs shall be monument style and no part of any freestanding sign shall exceed an above-grade height of 10'. Sign area shall not exceed 50 square feet per side, excluding the sign base. The sign base shall be integral to the overall sign design and complement the design of the building and landscape.*
  - *Freestanding signs may include the names of up to eight tenants of that parcel.*
  - *Light sources shall be screened from motorist view.*
- *Wall-mounted Signs*
  - *Each business occupying 25% or more of a building may have one wall sign and one projection sign. Wall-mounted signs shall not exceed 40 square feet in area, and projection signs shall not exceed 12 square feet in area per side.*
  - *Wall-mounted and projection signs shall be designed appropriately for the building, and shall not be constructed as cabinet box signs or have exposed raceways.*

*Parking:*

- *Non-residential Uses. Parking shall be adequate to serve the proposed uses, but shall in no case exceed 125% of the parking requirement in Section 1171.01.*

- *Bicycle Parking.* Bicycle parking should be provided and adequate to serve the proposed uses.

*Public Spaces:* A minimum of one Public Space Amenity as approved by the Municipal Planning Commission shall be required for every 5,000 square feet of gross floor area of multi-family dwellings, commercial or industrial space that is new in the WBC. Public Space Amenities are elements that directly affect the quality and character of the public domain such as:

- *An accessible plaza or courtyard designed for public use with a minimum area of 250 square feet;*
- *Sitting space (e.g. dining area, benches, or ledges) which is a minimum of 16 inches in height and 48 inches in width;*
- *Public art;*
- *Decorative planters;*
- *Bicycle racks;*
- *Permanent fountains or other Water Features;*
- *Decorative waste receptacles;*
- *Decorative pedestrian lighting; and*
- *Other items approved by the Municipal Planning Commission.*

#### *Worthington Comprehensive Plan*

*The 2005 Worthington Comprehensive Plan identifies the High Street Corridor (Extents Area) as a place where consistent site design should be encouraged such as landscape screening and interior planting of surface parking areas, and the location of large parking areas should be to the rear of the site. The corridor could accommodate redevelopment at a higher density, with such projects meeting the needs of the City, providing green setbacks and meeting the Architectural Design Guidelines. The plan recommends promoting a high quality physical environment, encouraging the City to continue to emphasize strong physical and aesthetic design, and high-quality development. Also recommended is encouraging the private market to add additional commercial office space within the City.*

#### **Staff Analysis and Recommendation:**

1. *The proposed site plan generally reflects the discussions at the ARB meetings, and is appropriate for the site. Elimination of the sidewalk near Wilson Bridge Rd., and widening of the sidewalk near the buildings are appropriate. The more prominent planting area would be attractive, and the distance from the road would be safer for pedestrians.*
2. *Right-of-way vacation along both streets is now being shown and conforms to the request of the City.*
3. *The following comments relate to the Worthington Design Guidelines and Wilson Bridge Corridor Development Standards regarding the buildings:*
  - *While the effort to have the development look like a village that has developed over time is honorable, some of the resultant buildings may be too complicated in their massing and form. The roof lines that are especially complex may not feel as authentic as intended. Some design elements seem out of character with the community.*

- *A simpler mix of materials and colors may be warranted. The extensive use of lap siding and metal roofing, especially on the larger buildings, does not seem appropriate. The colors appear a bit more subtle than in previous submittals.*
  - *Entrances face the interior roads but do not face the public streets.*
4. *The Arbor Advisory Committee comments about the landscaping plan should be addressed.*
  5. *Lighting should not spill onto neighboring properties. A different style of pole lights may be needed, especially adjacent to residential properties. LED lighting color above 2700 K is not appropriate.*
  6. Staff is recommending *tabling* of this application after discussion, to allow the applicant to make modifications and add detail based on the guidelines and any recommendations made at the meeting.

## 2. New

- a. New Gasoline/Convenience Store Station – Extension of Approval with Amendments – **2182 W. Dublin-Granville Rd.** (United Dairy Farmers, Inc.) **AR 128-16** (AR 45-14)

### **Findings of Fact & Conclusions**

#### **Background & Request:**

A new UDF convenience store and gas station at the northeast corner of W. Dublin-Granville Rd. and Linworth Rd. was approved by the Architectural Review Board in September of 2014. ARB approvals are valid for 18 months, but can be extended by the Board. This request would not only act as an extension of the original approval, but also minor changes and clarifications are proposed.

The development would be on 2 adjacent parcels, 1 located in Columbus and 1 in Worthington. Both jurisdictions approved plans for the new station. In addition to the ARB approval, the parcel in Worthington was rezoned to the C-4 Zoning District, and a Conditional Use Permit and variances were granted to accommodate the use. The total lot size for the 2 parcels after right-of-way dedication and transfer of a portion on the north side to Linworth Baptist Church is about 1.5 acres. The Worthington lot was home to a bank building which was demolished in the last year. The Columbus lot has the existing UDF which closed a couple of weeks ago and is slated for demolition.

#### **Project Details:**

1. As part of the plan, the applicant was approved to have a right-in/right-out entrance on West Dublin Granville Road, and a full access point on Linworth Road. Also, a southbound left turn lane on Linworth Road is required to be constructed by United Dairy Farmers. The owner must also install sidewalks along both frontages and crosswalks to allow pedestrians to move about the area safely.
2. The landscape plan is not proposed to change. A 48” high black metal fence is still proposed along the east property line, including adjacent to the parking lot to the north now owned by the church.
3. Building:

- The new building continues to be proposed as all brick, with a water table with a brick pattern around the entire building (see detail on A11).
  - The 7/12 roof pitch with a hipped roof would remain the same with this submittal.
  - The proposed storefront is anodized aluminum, extending across part of the front of the building. East of the entrance, smaller windows are now proposed to accommodate an interior beverage area. The windows are proposed to be tinted.
  - A horizontal prefinished flush metal panel system is proposed for the gables and on the canopy.
  - On the east elevation the storefront windows for the seating area have shifted to the north, and the patio with pergola is proposed adjacent.
  - Other elements are the same as the previous approval including: wall sconces, fiberglass columns with brick bases; louvered gable vents; wood trim; fiberglass roof shingles; and roof vents.
  - Decorative trim is proposed around the rear service doors.
  - Screening for the mechanicals on the rear of the roof is proposed.
4. Twenty-nine dark brown bollards with silver reflective stripes at the top are now proposed across the front of the building.
  5. A brick enclosure with high impact PVC doors with a horizontal panel design is proposed for the dumpster at the west end of the building. The enclosure shown is larger than was originally approved.
  6. The applicant was proposing 2 wall signs, one on the canopy and one on the building, and a freestanding sign. The wall signs would consist of internally illuminated channel letters with white faces. The “UDF” initials on the front of canopy would be the only sign on the Worthington side of the property. The latest submittal showed additional signs on the canopy in both jurisdictions. A freestanding sign would be placed on the Columbus side of the property, likely in the right-of-way that was dedicated. Approval is needed from the City of Columbus.
  7. The light poles were proposed to have a ground to fixture height of 15’, including a 2’ exposed concrete base. The detail on sheet A1 shows the fixture at 17’ above grade. Two similar fixture styles have been submitted. Both styles have optional shields for the fixtures adjacent to the east side so light would not spill onto the residential property. The LEDs for both come in 5000k or 4000k color temperature. As was approved by the ARB, the photometric drawing indicates light levels no greater than 30 footcandles in any location.
  8. U-shaped pipe bollards near the pumps are shown as gray with a yellow top in the submitted material.
  9. A transformer is proposed near the northeast corner of the property. A variance would be needed for its location in proximity to the property lines.

**Land Use Plans:**

Worthington Comprehensive Plan Update & 2005 Strategic Plan

A neighborhood retail service center should be established at the West Dublin-Granville Road and Linworth Road intersection to create a commercial node for the community.

## Worthington Design Guidelines

**Scale, Form & Massing:** Simple geometric forms and uncomplicated massing tend to make buildings more user-friendly. Inclusion of sidewalks, pedestrian-scaled signage, and planting and lawn areas will help communicate a sense of a walkable pedestrian scale. Carefully designed building facades that employ traditional storefronts -- or similarly-sized windows on the first floor -- will help make new buildings more pedestrian-friendly.

**Setbacks:** Unimpeded pedestrian access to the front building facade from the sidewalk should be a primary goal.

**Roof Shape:** Generally, a traditional roof shape such as gable or hip is preferable to a flat roof on a new building. Roof shapes should be in scale with the buildings on which they are placed.

**Materials:** Traditional materials such as wood and brick are desirable in newer areas, but other materials are also acceptable. These include various metals and plastics; poured concrete and concrete block should be confined primarily to foundation walls. Avoid any use of glass with highly reflective coatings. Some of these may have a blue, orange, or silver color and can be as reflective as mirrors; they generally are not compatible with other development in Worthington. Before making a final selection of materials, prepare a sample board with preferred and optional materials.

**Windows:** Use traditional sizes, proportions and spacing for windows. Doing so will help link Old Worthington and newer areas through consistent design elements.

**Entries:** Primary building entrances should be on the street-facing principal facade. Rear or side entries from parking lots are desirable, but primary emphasis should be given to the street entry. Use simple door and trim designs compatible with both the building and with adjacent and nearby development.

**Color:** For new brick buildings, consider letting the natural brick color be the body color, and select trim colors that are compatible with the color of the bricks. Prepare a color board showing proposed colors.

**Signage:** While the regulations permit a certain maximum square footage of signs for a business, try to minimize the size and number of signs. Place only basic names and graphics on signs along the street so that drive-by traffic is not bombarded with too much information. Free-standing signs should be of the "monument" type (standing vertically, mounted on a ground-level base and not on a pole); they should be as low as possible. Such signs should have an appropriate base such as a brick planting area with appropriate landscaping or no lighting. Colors for signs should be chosen for compatibility with architecture and colors of the buildings they serve, whether placed on the ground or mounted on the building. Signs must be distinctive enough to be readily visible, but avoid incompatible modern colors such as "fluorescent orange" and similar colors. Bright color shades generally are discouraged in favor more subtle and toned-down shades.

### **Recommendation:**

Staff is recommending *approval* of this application with the followings modifications:

- The parking lot light fixtures should be kept to no higher than 15' above grade, including the base.
- Especially given the number of bollards by the building, the silver reflective stripes should be eliminated. The pipe bollards by the pumps should not be yellow - all white or with white tops would be more appropriate.
- The window tinting should be non-reflective and as light in color as possible to achieve the desired interior effect.

- At the residential property line, the illumination should not exceed 0 footcandles. Also, color temperature is typically approved to be no greater than 2700K. Selection of different fixtures may be necessary. The color of the light poles and fixtures should be brown (bronze) or black.
- Although the freestanding and wall signs are not all in Worthington, the sign package should conform to the Worthington Design Guidelines and Codified Ordinances as closely as possible. Additional signs should not be added to the canopy and the freestanding sign should be smaller ( $\leq 30$  sf/side) with a brick base to match the building.
- The transformer must be screened with landscape material and be a color to blend in with the screening.

**Motion:**

**THAT THE REQUEST BY UNITED DAIRY FARMERS, INC. TO EXTEND AND AMEND AR #45-14 TO CONSTRUCT A NEW GASOLINE/CONVENIENCE STORE STATION AT 2182 WEST DUBLIN-GRANVILLE RD., AS PER CASE NO. AR 128-16, DRAWINGS NO. AR 128-16, DATED OCTOBER 28, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

b. Solar Panels – **661 Evening St.** (Allen Eiger & Joanne Dole) **AR 129-16**

**Findings of Fact & Conclusions**

**Background & Request:**

This ranch style house was built in 1955 and is not a contributing structure in the Worthington Historic District. The homeowner would like to add solar panels to the roof.

**Project Details:**

1. The owner is proposing the addition of 17 solar panels – 12 on the rear of the gabled roof and 5 on the south side of the front gable above the garage. The number and placement of panels would achieve the efficiency and productivity goals of the homeowners.
2. The panels would be black, placed on the slope of the gray roof sitting several inches above the roof shingles.

**Land Use Plans:**

**Worthington Design Guidelines and Architectural District Ordinance**

In 2011, Sustainable Features were added as a review element in the Architectural Review District to encourage sustainable design and building practices, while preserving the character and integrity of the Architectural Review District. It is recommended to place solar panels in a location that minimizes the visual impact as seen from the right-of-way and surrounding properties. Generally, panels should be located on roofs in the following manner: the rear 50% of the roof of the main building; the rear inside quadrant of the roof of a main building on a corner lot; or on accessory structures in the rear yard. On sloped roofs, place panels flush along the roof unless visibility is decreased with other placement.

**Staff Analysis and Recommendation:**

Ideally all of the panels needed for this project would be placed on the rear of the house. If it is necessary to place 5 panels on the front to make the project viable, placement on the south side of the east-west gable should have the least visual impact of any location on the front of the house. Panels that have the lowest possible profile above the roof should be used. Sustainable practices were meant to be encouraged in the District, and not every property is in a position to have solar panels placed in a location that minimizes visual impact.

**Motion:**

**THAT THE REQUEST BY ALLEN EIGER AND JOANNE DOLE FOR A CERTIFICATE OF APPROPRIATENESS TO ADD SOLAR PANELS AT 661 EVENING ST., AS PER CASE NO. AR 129-16, DRAWINGS NO. AR 129-16, DATED NOVEMBER 7, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**

c. Fence – 215 E. Granville Rd. (Rebacca Ament) AR 130-16

**Findings of Fact & Conclusions**

**Background & Request:**

This property is 57’ wide and 192’ deep, with a two-story house built in 1853 fronting on E. Granville Rd. At the rear of the property there is a 12’ strip that gives access from Plymouth St. to a two-car detached garage constructed in the early 2000’s.

This request is to replace the existing picket fence at the rear of the property.

**Project Details:**

1. The fence would run from the southwest corner of the house west to the property line and head south about 71’, stopping and starting again at a tree on the property line. At the south end, the fence would go around the drive to the garage. Small sections would connect the garage and the house to the existing fence owned by the neighbors to the east. Gates are proposed at the northeast, northwest and southwest corners.
2. The proposed cedar fence would be 42” high with pickets that taper down at the posts. The picket width would be 4” and there would be 2” spacing between the pickets. The fence would be left a natural cedar color.

**Land Use Plans:**

**Worthington Design Guidelines and Architectural District Ordinance**

Fencing should be open in style; constructed with traditional materials; 3’ to 4’ in height; in the back yard; and of simple design, appropriate for the house style. Design and materials should be compatible with the existing structure.

**Recommendation:**

Staff is recommending *modification* of this application to have the spacing between the pickets equal to the picket width to create an open style fence as is called for in the Design Guidelines.

**Motion:**

**THAT THE REQUEST BY REBECCA AMENT FOR A CERTIFICATE OF APPROPRIATENESS TO CONSTRUCT A FENCE AT 215 E. GRANVILLE RD. AS PER CASE NO. AR 130-16, DRAWINGS NO. AR 130-16, DATED OCTOBER 11, 2016, BE APPROVED BASED ON THE FINDINGS OF FACT AND CONCLUSIONS IN THE STAFF MEMO AND PRESENTED AT THE MEETING.**



# City of Worthington

## CONDITIONAL USE PERMIT APPLICATION

Case #	CU 17-116
Date Received	11-23-16
Fee	\$25.00
Meeting Date	12-8-16
Filing Deadline	10-29-15

1. Property Location 679-D N. High Street, Worthington, OH 43085
2. Zoning District C-5
3. Applicant Shoma Jha  
Address 45 W. Stafford Ave., Worthington, OH 43085  
Home Phone (614) 841-2432 Work Phone (614) 653-9569
4. Property Owner CAF-x JV Worthington Limited  
Address P.O. Box 2235 Westerville, OH 43086  
Home Phone \_\_\_\_\_ Work Phone \_\_\_\_\_
6. Business Name Centered Yoga & Movement
7. Type of Business/Conditional Use Recreational Facility

### PLEASE READ THE FOLLOWING STATEMENT AND SIGN:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Shoma Jha  
Applicant (Signature)

M. member  
Property Owner (Signature)

Abutting Property Owners List for  
679-D High St.

689 North High Street LLC	PO Box 221	Worthington, OH 43085
HER Realtors	681 High St.	Worthington, OH 43085
The Party Studio	679-B High St.	Worthington, OH 43085
The Pub Out Back	679-C High St.	Worthington, OH 43085
E.F. Smith Ltd.	960 Evening St.	Worthington, OH 43085
Denig Jewelers	677 High St.	Worthington, OH 43085
U.S. Bank	688 High St.	Worthington, OH 43085
Zettler Town & Country	621 S. Grant Ave.	Columbus, OH 43206
Susan Keaton	676 Oxford St.	Worthington, OH 43085
Michael & Melinda Go	682 Oxford St.	Worthington, OH 43085
James Fenzl & Christine Davis	703 Wesley Ct.	Worthington, OH 43085
George & Patricia Doyle	701 Wesley Ct.	Worthington, OH 43085
Robert Chrisman	699 Wesley Ct.	Worthington, OH 43085
Rebecca & Stephen Volkmann	697 Wesley Ct.	Worthington, OH 43085

As a resident of Old Worthington since 2004, I would like to open a yoga studio, Centered Yoga and Movement, in my hometown. I am a yoga instructor and feel passionate to bring peace, calm, positive energy and a sense of well-being to the lives of others and specifically to my home community, Old Worthington. Yoga is a love of my life and has brought me these gifts that I would like to share with others.

Centered Yoga and Movement would include a variety of yoga and movement classes which may include pilates, tai chi or other forms of martial arts. Additionally, the studio would offer yoga classes to adults of all ages and ability, teenagers, as well as elementary school aged children. Essentially, the yoga studio would welcome all members of the community and beyond.

The opening of this studio would bring more people into Old Worthington. Clients would walk through downtown, shop at the boutiques, purchase a cup of coffee, or enjoy a meal at one of many fabulous restaurants. In turn, this yoga studio will increase business in Old Worthington.

The studio would not change the traffic patterns in town. The West New England Avenue municipal parking lot would be used by clients. This studio would have no effect on public facilities, sewerage and drainage facilities. Required utilities are standard: gas, electric and water. Noise and odors would not be an issue. Hours of operation would be from 7am – 9pm. The number of clients served during a class would be 10 – 12. Appearance of the site would not change and is already compatible with the general neighborhood.

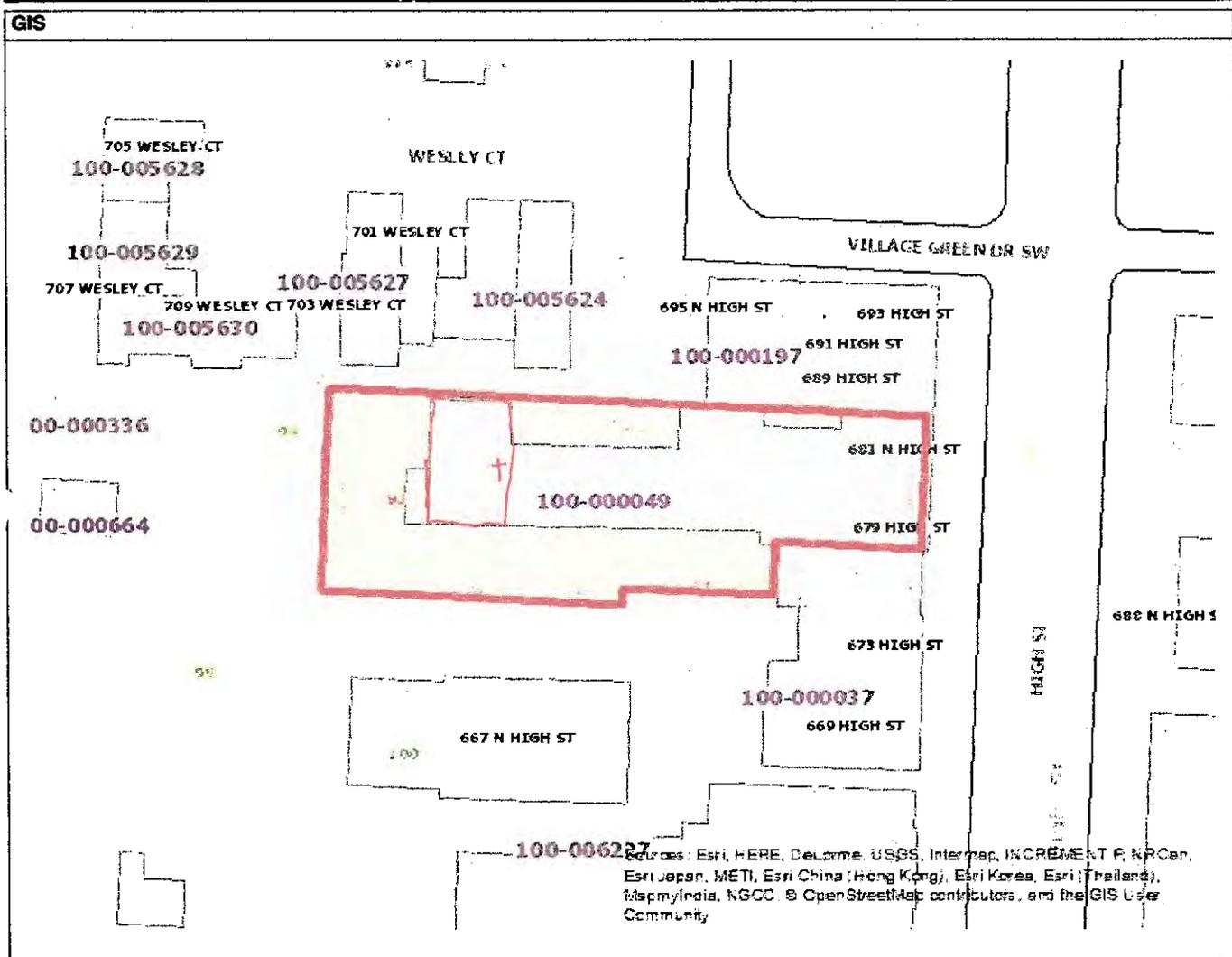
I request the approval of this endeavor and feel that this will be a positive addition to the vibrant community of Old Worthington.



**MAP(GIS)**

Generated on 11/21/2016 at 01:25:08 PM

Parcel ID	Map Routing No	Owner	Location
10000004900	100N064 03400	CRV-XIV WORTHINGTON	679 HIGH ST N



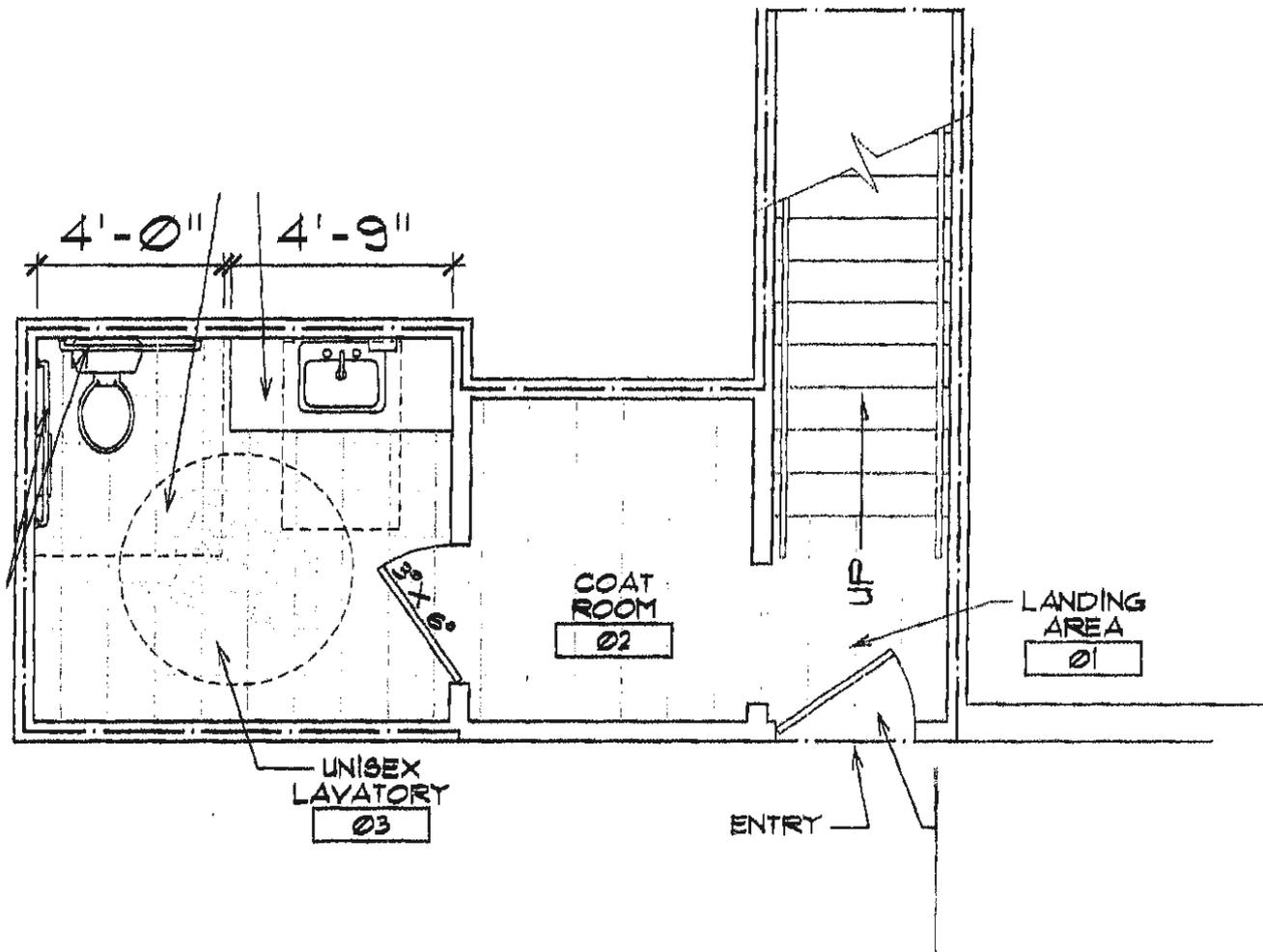
Sources: Esri, HERE, DeLorme, USGS, Intermap, INCREMENT P, NP, Cer, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), MapmyIndia, NGCC, OpenStreetMap contributors, and the GIS User Community

**Disclaimer**

This drawing is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this drawing are notified that the public primary information source should be consulted for verification of the information contained on this drawing. The county and the mapping companies assume no legal responsibilities for the information contained on this drawing. Please notify the Franklin County GIS Division of any discrepancies.

The information on this web site is prepared for the real property inventory within this county. Users of this data are notified that the public primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

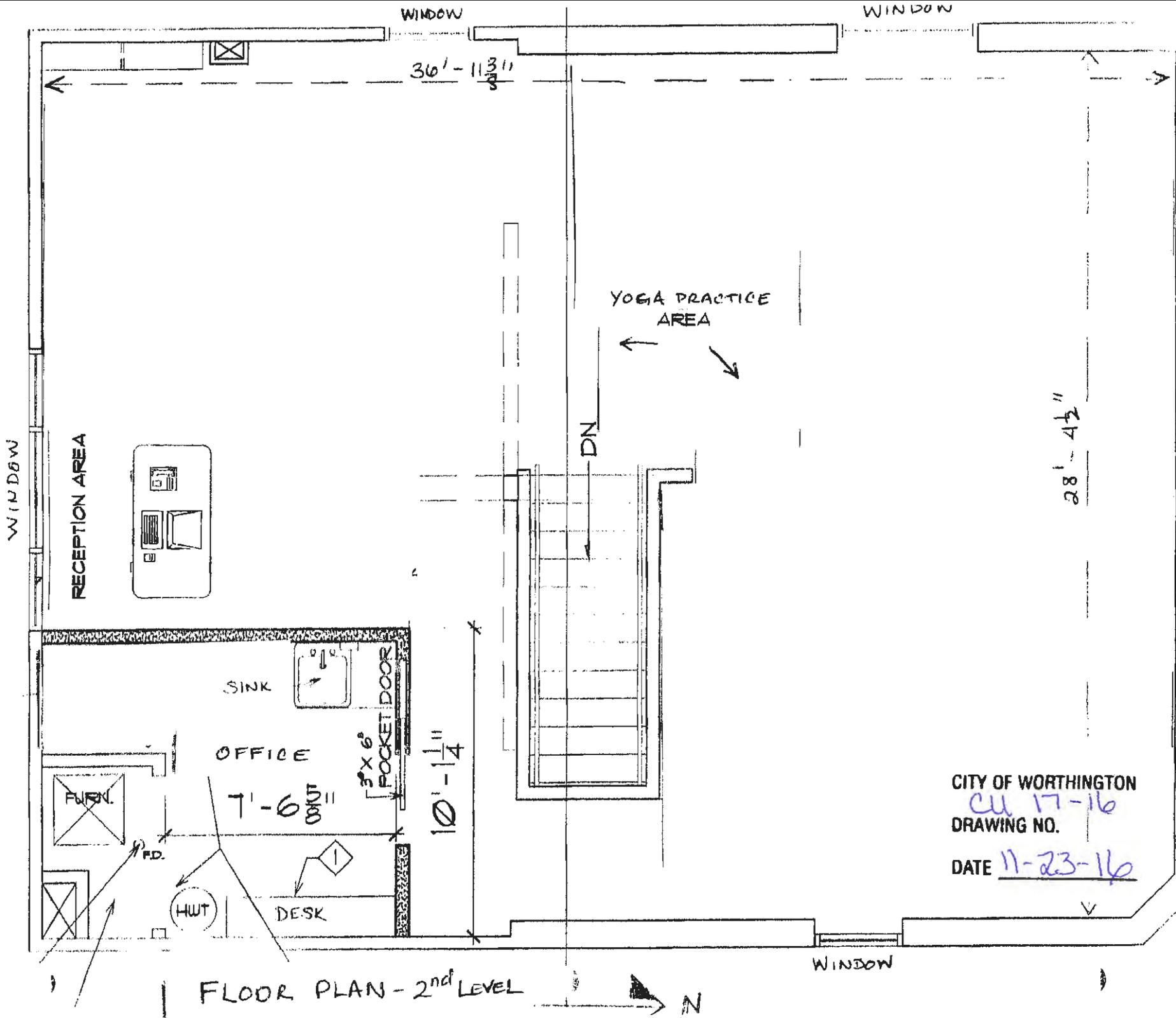
**CITY OF WORTHINGTON**  
CU 17-16  
**DRAWING NO.**  
DATE 11-23-16



FLOOR PLAN - GROUND LEVEL

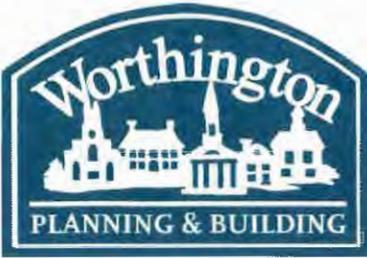


CITY OF WORTHINGTON  
 CU 17-16  
 DRAWING NO.  
 DATE 11-23-16



CITY OF WORTHINGTON  
 CU 17-16  
 DRAWING NO.  
 DATE 11-23-16

FLOOR PLAN - 2<sup>nd</sup> LEVEL



City of Worthington ARCHITECTURAL REVIEW BOARD Certificate of Appropriateness Application

Case # AR 101-16 Date Received 7/15/16 Fee \$2 pd Meeting Date 7/8/16 Filing Deadline Receipt # 62381

- 1. Property Location 882 High Street, Worthington, Ohio 43085
2. Present/Proposed Use Residential Real Estate Brokerage
3. Zoning District C-3
4. Applicant Greg/Phil Giessler Address 882 High Street, Worthington, Ohio 43085 Phone Number(s) 614.888.0307 (office); 614.832.7679 (cell)
5. Property Owner Phil Giessler Address 882 High Street Phone Number(s) 614.888.0307 (office); 614.832.7679 (cell)
6. Project Description Updating current exterior sign inserts with new logo paint current sign mount that is white to black
7. Project Details: a) Design b) Color c) Size d) Approximate Cost Expected Completion Date

PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Tabled 7/5/16

[Signature] Applicant (Signature)

7.15.2016 Date

[Signature] Property Owner (Signature)

7-15-2016 Date

Abutting Property Owners List for  
882 High St.

Herbert Vaughan		888 High St.	Worthington, OH 43085
Dirk & Linda Smith		8 Hartford Ct.	Worthington, OH 43085
Connie Queeney		7 Hartford Ct.	Worthington, OH 43085
Alto Inc.	Barrister's Inc.	3363 Tremont Rd.	Columbus, OH 43221
Kernos LLC		879 High St.	Worthington, OH 43085
Providential Properties LLC		1601 W. 5th Ave., Suite 193	Columbus, OH 43212

Back when the sign was made our relocation Network named "Leading Real Estate Companies of the World" did not exist, only as a company called "relo". So the network would like for us to incorporate the branding into our sign. In essence we are just adding their logo and replicating our yard sign which the design professional we used to do our branding is recommending.

Our old sign has a message of we are Cam Taylor-with a house. It shows MLS which I don't think is clear. It gives a telephone number which would just be switched to a website instead of telephone number. To me our new sign inserts are updated, it shows our colors, our local brand, our international brand, a point of contact, and our purpose.

When that sign was made the internet did not exist and as mentioned earlier we were not part of the Leading RE network.

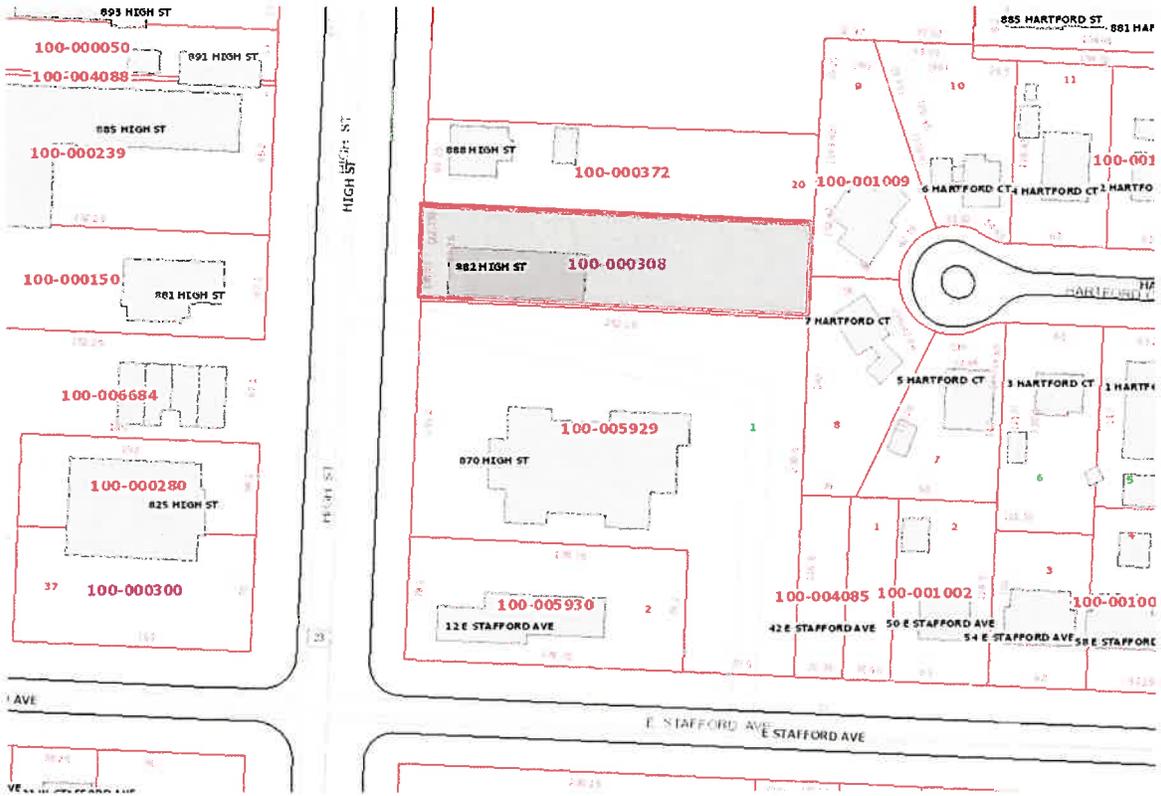
The message now is

1. We are still here. We are Columbus real estate
2. We are visible online
3. We are a member of Leading Real Estate Companies of the World.
4. We believe in fair housing.

We cannot change the Leading RE logo but could try to match the font of the [www.camtaylor.com](http://www.camtaylor.com) with the Block portion of the Leading RE and/or remove Love Columbus etc.

The sign is illuminated as we will just be switching out to the two sides of the sign. We would like to paint the exterior of the sign, that is currently white, either leave it white and paint it or paint it black to match the yard sign, or a dark tan or something. The building was built around that sign back in 1988. The colors of the sign are still red, white, and blue as the current sign just slightly different shades. I do not think our paint colors are too modern or anything different than what we see in other downtown Worthington shops like Igloo Press etc.

# 882 High St.



100-000308 04/10/2014



# CamTaylor

WWW.CAMTAYLOR.COM

CITY OF WORTHINGTON  
AR 101-16  
DRAWING NO.

DATE 7-15-16

*Leading*

REAL ESTATE  
COMPANIES  
OF THE WORLD®

LOVE YOUR HOUSE  
LOVE YOUR NEIGHBORHOOD  
LOVE COLUMBUS





CITY OF WORTHINGTON  
AR 101-16  
DRAWING NO.

DATE 7-15-16



# City of Worthington

## ARCHITECTURAL REVIEW BOARD

### Certificate of Appropriateness Application

Case # AR 32-16  
Date Received 2-26-16  
Fee \$200  
Meeting Date 3-11-16  
Filing Deadline  
Receipt # 66658

1. Property Location 7007 N. High Street
2. Present/Proposed Use Hotel / Multi-Use Development
3. Zoning District C-4
4. Applicant Alliance Hospitality, Inc.  
Address 600 Enterprise Dr, Lewis Center, Ohio 43035  
Phone Number(s) 614-846-6600
5. Property Owner HE HARI INC  
Address 7007 N High Street, Worthington, Ohio 43085  
Phone Number(s) 614-436-0700
6. Project Description Redevelopment of existing site to construct  
two (2) new hotels and <sup>personal</sup> restaurant buildings  
<sup>or prof.</sup> service
7. Project Details:
  - a) Design see architectural sketches and imagery
  - b) Color see architectural sketches and imagery
  - c) Size see architectural sketches and imagery
  - d) Approximate Cost \$40 Million Expected Completion Date June 2019

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

[Signature]  
Applicant (Signature)

2/26/16  
Date

*Tabled 3/10/16, 4/23/16  
11/10/16*

[Signature]  
Property Owner (Signature)

2/26/16  
Date

ABUTTING PROPERTY OWNERS  
FOR  
7007 N. High St.

The Shops at Worthington Place		7227 N. High St.	Worthington, OH 43085
Chase Bank		50 W. Wilson Bridge Rd.	Worthington, OH 43085
Worthington Duchess LLC		7141 N. High St.	Worthington, OH 43085
Worthington Duchess LLC		447 James Parkway	Newark, OH 43056
Park National Bank		7140 N. High St.	Worthington, OH 43085
Middleton Place Ltd		7100 N. High St.	Worthington, OH 43085
CF Bank		7000 N. High St.	Worthington, OH 43085
Fifth Third Bank		6895 N. High St.	Worthington, OH 43085
T & S Realty Venture LLC		PO Box 24550	Columbus, OH 43224-4550
Carol Meehan		130 Caren Ave.	Worthington, OH 43085
Steven & Jayne Rosandich		140 Caren Ave.	Worthington, OH 43085
Kristin Spyker	Scott Kyser	6917 Hayhurst St.	Worthington, OH 43085
Heather Monroe		135 Greenglade Ave.	Worthington, OH 43085
Shellie & Andrew Smith		1500 Glenn Ave.	Columbus, OH 43212
Resident		130 Greenglade Ave.	Worthington, OH 43085
Towne Properties	Joseph Swartz	777-A Dearborn Park Ln	Worthington, OH 43085
Stephen Lewis		126 Saint Andre St.	Worthington, OH 43085



**The Village at Worthington Square  
Worthington, Ohio**

October 28, 2016

Brief Supporting Statement

The Village at Worthington Square is comprised of 6 individual buildings arranged on a sloping site with 3 convenient entrances off the bordered Wilson Bridge Road to the north, North High Street to the east and Caren Avenue to the south. The buildings are arranged along internal streets and a village square. The hotels are placed on opposite corners of the village square, which creates a sense of enclosure and reinforces the place making aspects of a village or town center. Two areas off of Wilson Bridge Road provide outdoor dining as well as pedestrian access and views into the village. The parking lots are located to the south and west of the buildings and provide convenient access to the buildings. Internal sidewalks will provide easy access to all buildings from the parking areas as well as from the bordering streets and neighborhoods.

The architecture of the village is a traditional Colonial Style. All buildings explore the use of many roof forms from Mansard, Gabel, Hip, Etc. Each building is unique in massing, form, fenestration, and material selections. The hotels are expressed as a collection of buildings with varying roofs and materials thus breaking down the scale and reinforcing the village aesthetic. Architectural detailing will include cornice lines, moldings, brackets, traditional windows and doors, brick soldiers and rowlocks, chimneys, awnings, canopies, etc.

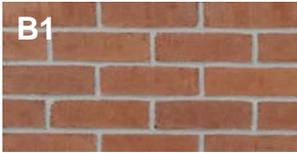
The overall idea of this development is to evoke the nature of a village that has developed over a period of time and not as a singular development. The site has incorporated the recommendations from the Wilson Bridge Road Corridor Study to help achieve the City's redevelopment goals for this area.



# WALL FINISHES

## BRICKS

26HB REDBURN



ABERDEEN



CELTIC GREY



ELLSWORTH



ILLINI COMMONS



RUSTIC BURGUNDY



ASHLAND



RIDGELAND



BATTLECREEK



## PAINT

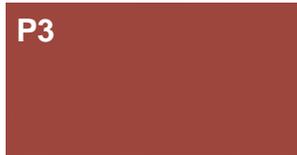
CW-585 EWING BLUE



CW-280 MOIR GOLD



CW-340 GREENHOW VERMILLION



CW-480 BASSETT HALL GREEN



CW-395 GOVERNOR'S GOLD



CW-595 CHESAPEAKE BLUE



## STONE VENEER

BORAL- BUCKS COUNTRY LIMESTONE



BORAL- SOUTHERN LEDGESTONE ASPEN



CW-90 TAVERN CHARCOAL



# ROOF FINISHES

## STANDING SEAM METAL ROOF



▲ ● MEDIUM BRONZE



▲ ● COLONIAL RED



● ▲ ● WEATHERED ZINC



● ▲ ● AGED COPPER



## SIDING

LAP SIDING - SELECT CEDARMILL

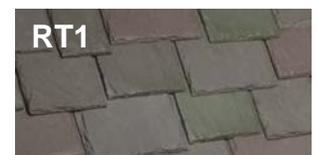


LAP SIDING - BEADED CEDARMILL

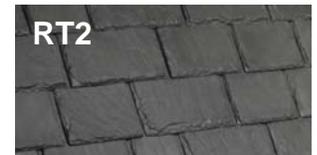


## ROOFING TILES

MULTI-WIDTH SLATE - WEATHERED GREEN



MULTI-WIDTH SLATE - SLATE GRAY



PROJECT NO. 20150241.00

REVISION NO. 000

DATE 11/21/2016

Notes

MATERIAL LEGEND

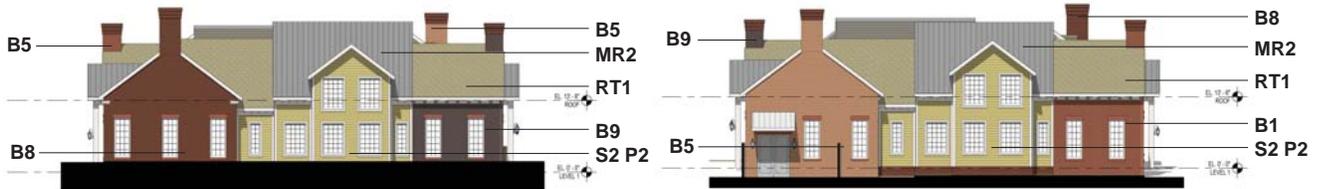


The Village at Worthington Square  
Worthington, Ohio





NORTH ELEVATION



EAST ELEVATION

WEST ELEVATION



SOUTH ELEVATION

**BRICKS**

26HB REDBURN



RIDGELAND



**PAINT**

CW-280 MOIR GOLD



**ROOFING TILES**

MULTI-WIDTH SLATE - WEATHERED GREEN



BATTLECREEK



CW-480 BASSETT HALL GREEN



ILLINI COMMONS



**SIDING**

LAP SIDING - SELECT CEDARMILL, BEADED



CW-595 CHESAPEAKE BLUE



**ST. SEAM METAL ROOF**

WEATHERED ZINC



PROJECT NO. 20150241.00

REVISION NO. 000

DATE 11/21/2016

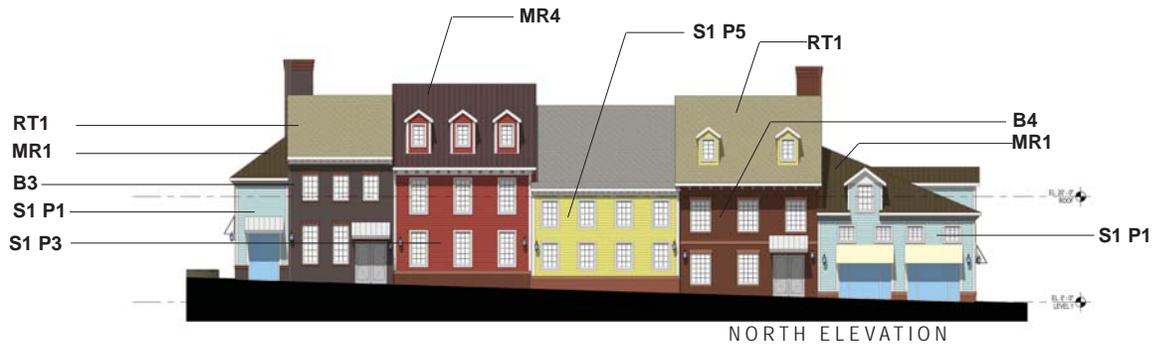
Notes

BUILDING-1 - WEST OFFICE



The Village at Worthington Square  
Worthington, Ohio





NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

**BRICKS**

26HB REDBURN



CELTIC GREY



ELLSWORTH



**SIDING**

LAP SIDING - SELECT CEDARMILL



**ST. SEAM METAL ROOF**

MEDIUM BRONZE



▲ MEDIUM BRONZE

COLONIAL RED



▲ COLONIAL RED

**PAINT**

CW-585 EWING BLUE



CW-340 GREENHOW VERMILLION



CW-395 GOVERNOR'S GOLD



**ROOFING TILES**

MULTI-WIDTH SLATE - WEATHERED GREEN



MULTI-WIDTH SLATE - SLATE GRAY



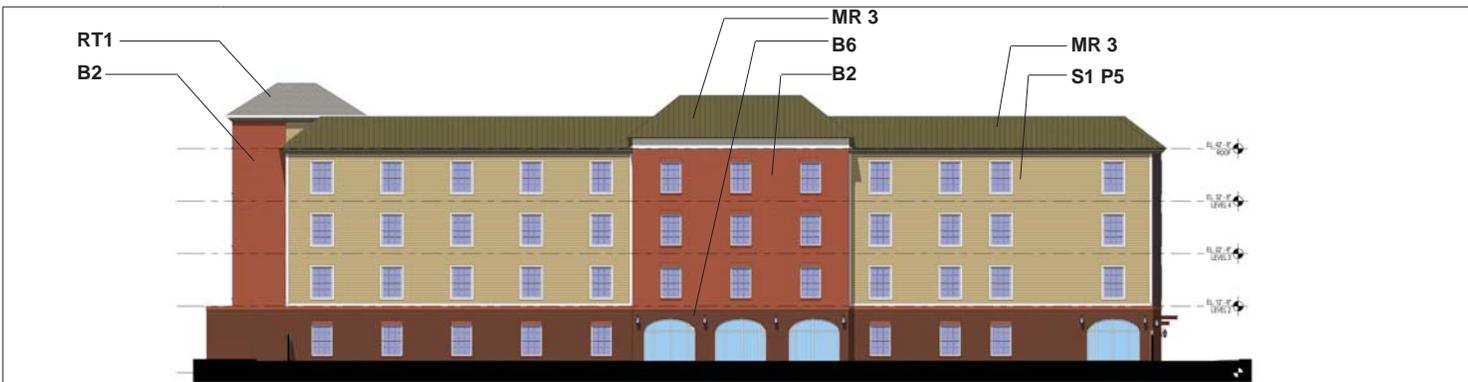
PROJECT NO. 20150241.00    REVISION NO. 000    DATE 11/21/2016    Notes

BUILDING-2 - NORTH RESTAURANT



The Village at Worthington Square  
Worthington, Ohio





**BRICKS**

ABERDEEN



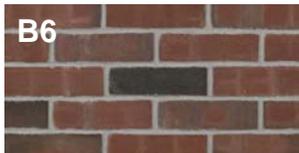
ASHLAND



CELTIC GREY



RUSTIC BURGUNDY



**STONE VENEER**

BORAL- BUCKS COUNTRY LIMESTONE



**ROOFING TILES**

MULTI-WIDTH SLATE - WEATHERED GREEN



**SIDING**

LAP SIDING - SELECT CEDARMILL



**PAINT**

CW-395 GOVERNOR'S GOLD



**ST. SEAM METAL ROOF**

AGED COPPER



ASHLAND

PROJECT NO. 20150241.00

REVISION NO. 000

DATE 11/21/2016

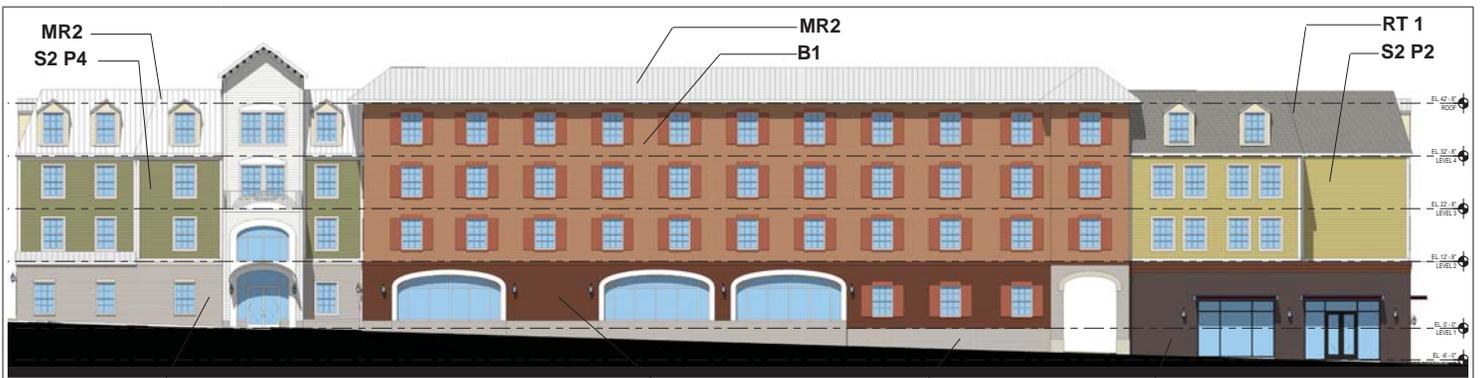
Notes

BUILDING-3 - EAST HOTEL



The Village at Worthington Square  
Worthington, Ohio





ST2 B4 ST2 B3 NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

**B3**  
**BRICKS**  
26HB REDBURN



**ELLSWORTH**



**SIDING**  
LAP SIDING - SELECT CEDARMILL



**PAINT**  
CW-280 MOIR GOLD



CW-480 BASSETT HALL GREEN



CW-320 DRAGONS BLOOD



**ROOFING TILES**  
MULTI-WIDTH SLATE - WEATHERED GREEN



**ST. SEAM METAL ROOF**  
WEATHERED ZINC



PROJECT NO. 20150241.00

REVISION NO. 000

DATE 11/21/2016

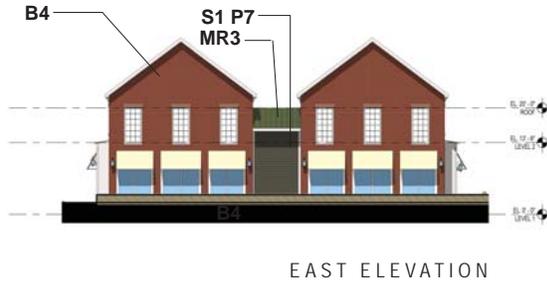
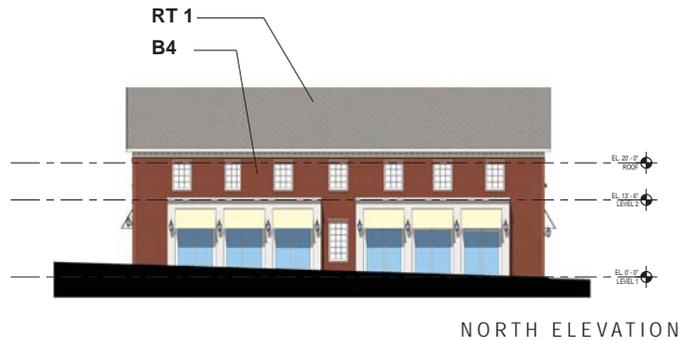
Notes

BUILDING-4 - WEST HOTEL



The Village at Worthington Square  
Worthington, Ohio





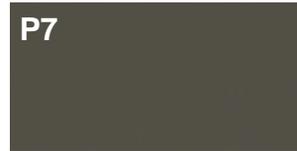
**BRICKS**  
ELLSWORTH



**SIDING**  
LAP SIDING - SELECT CEDARMILL



**PAINT**  
CW-90 TAVERN CHARCOAL



**ROOFING TILES**  
MULTI-WIDTH SLATE - WEATHERED GREEN



**ST. SEAM METAL ROOF**  
AGED COPPER



●▲◆ AGED COPPER

PROJECT NO. 20150241.00

REVISION NO. 000

DATE 11/21/2016

Notes

BUILDING-5 - EAST RESTAURANT

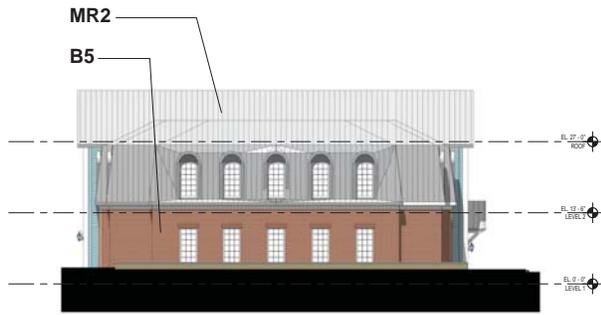


The Village at Worthington Square  
Worthington, Ohio

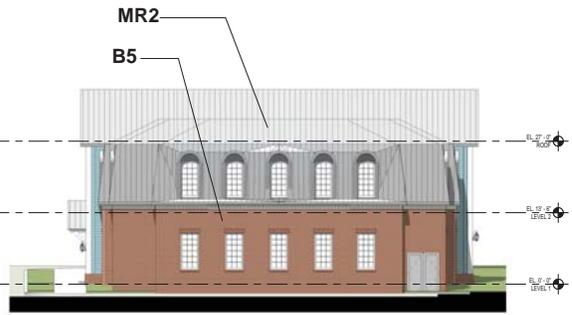




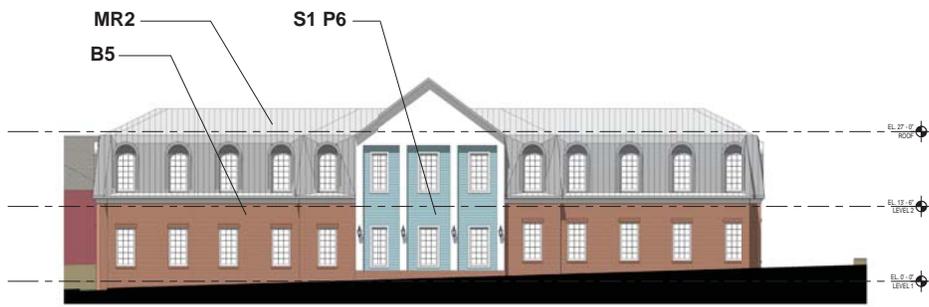
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

**BRICKS**  
ILLINI COMMONS



**SIDING**  
LAP SIDING - SELECT CEDARMILL



**PAINT**  
CW-595 CHESAPEAKE BLUE



**ST. SEAM METAL ROOF**  
WEATHERED ZINC



WEATHERED ZINC

PROJECT NO. 20150241.00    REVISION NO. 000    DATE 11/21/2016    Notes

BUILDING-6 - EAST OFFICE



The Village at Worthington Square  
Worthington, Ohio

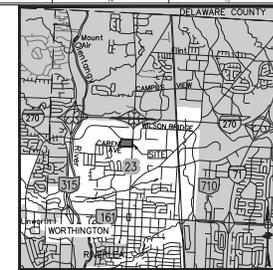


SCOPE DOCUMENTS

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ISSUANCES

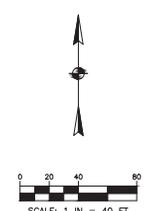
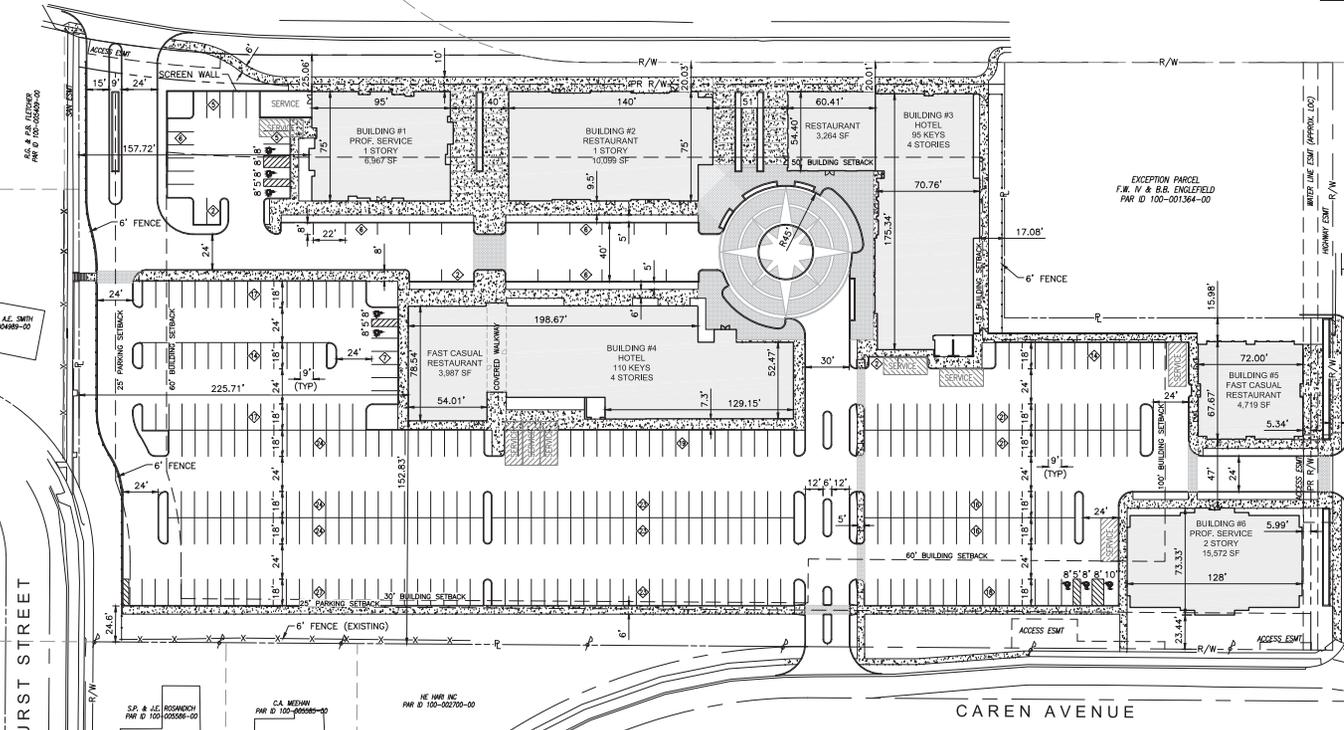
No.	Drawing Issue Description	Date
1	PRELIMINARY A&E	10/29/2015
2	ISSUE SUBMISSION 1	11/23/2015



VICINITY MAP  
NOT TO SCALE

WILSON BRIDGE ROAD

N. HIGH STREET (U.S. ROUTE 23)



THE VILLAGE AT  
WORTHINGTON SQUARE

7007 N. HIGH ST  
WORTHINGTON, OHIO  
The Witness Group

SITE DIMENSION PLAN

**ZONING**  
DEVELOPMENT ADDRESS 7007 NORTH HIGH STREET  
WORTHINGTON, OHIO 43085  
EXISTING PARCEL ID: 100-001218  
ZONING: C-4  
PROPOSED LOT AREA: 7.015 AC.  
SETBACKS: AS SHOWN

**OWNER**  
HE HARI INC  
7007 N HIGH STREET  
WORTHINGTON, OHIO 43085

**GREEN SPACE**  
PRE/POST = 1.295/1.069 ACRES

**LANDSCAPING**  
PLANTING INTENT PER "LANDSCAPE PLAN", TO COMPLY WITH CHAPTER 1171.02 OF ZONING CODE.

**PARKING**  
PARKING REQUIRED: PROFESSIONAL SERVICES (22,539 SF @ 1:250) = 91  
RESTAURANT (22,069 SF @ 1:100) = 221  
HOTEL (205 ROOMS @ 1:1) = 205  
517 TOTAL SPACES REQUIRED

PARKING PROVIDED: 388 SPACES TOTAL (72%)  
INCLUDES 8 ACCESSIBLE SPACES (2 VAN / 6 CAR)

**FLOOD\_ZONE**  
SUBJECT PROPERTY FOUND ON FLOOD COMMUNITY PANEL NUMBER 39049 C0157K. FLOOD\_ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR, EFFECTIVE JUNE 17, 2008).

**LIGHTING**  
PROPOSED LIGHTING TO COMPLY WITH CHAPTER 909 OF ZONING CODE.

**LOADING**  
5,000 SF TO 14,999 SF (BUILDING SPACE) = 12'X30' (TYPE B)  
15,000 SF TO 29,999 SF (BUILDING SPACE) = 14'X35' (TYPE A)

SHEET INDEX

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SITE OVERLAY PLAN	.....	CW-002	EAST RESTAURANT AXONS	.....	EX-ARB-18
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SITE AXON SW	.....	EX-ARB-4	CAMERA VIEWS PASSAGE	.....	EX-ARB-22
BLDG #1 PROF. SERVICE, BLDG #2 RESTAURANT	.....	EX-ARB-5	CAMERA VIEWS PLAZA	.....	EX-ARB-23
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WEST HOTEL ELEVATIONS	.....	EX-ARB-14	RENDERINGS	.....	EX-ARB-32
WEST HOTEL AXONS	.....	EX-ARB-15			
BLDG #5 RESTAURANT, BLDG #6 PROF. SERVICE	.....	EX-ARB-16			



Designer	20150241
Prepared in Charge	Project No.
Approver	11/23/16
Project Manager	Date
Checker	
Author	
Self Architect	

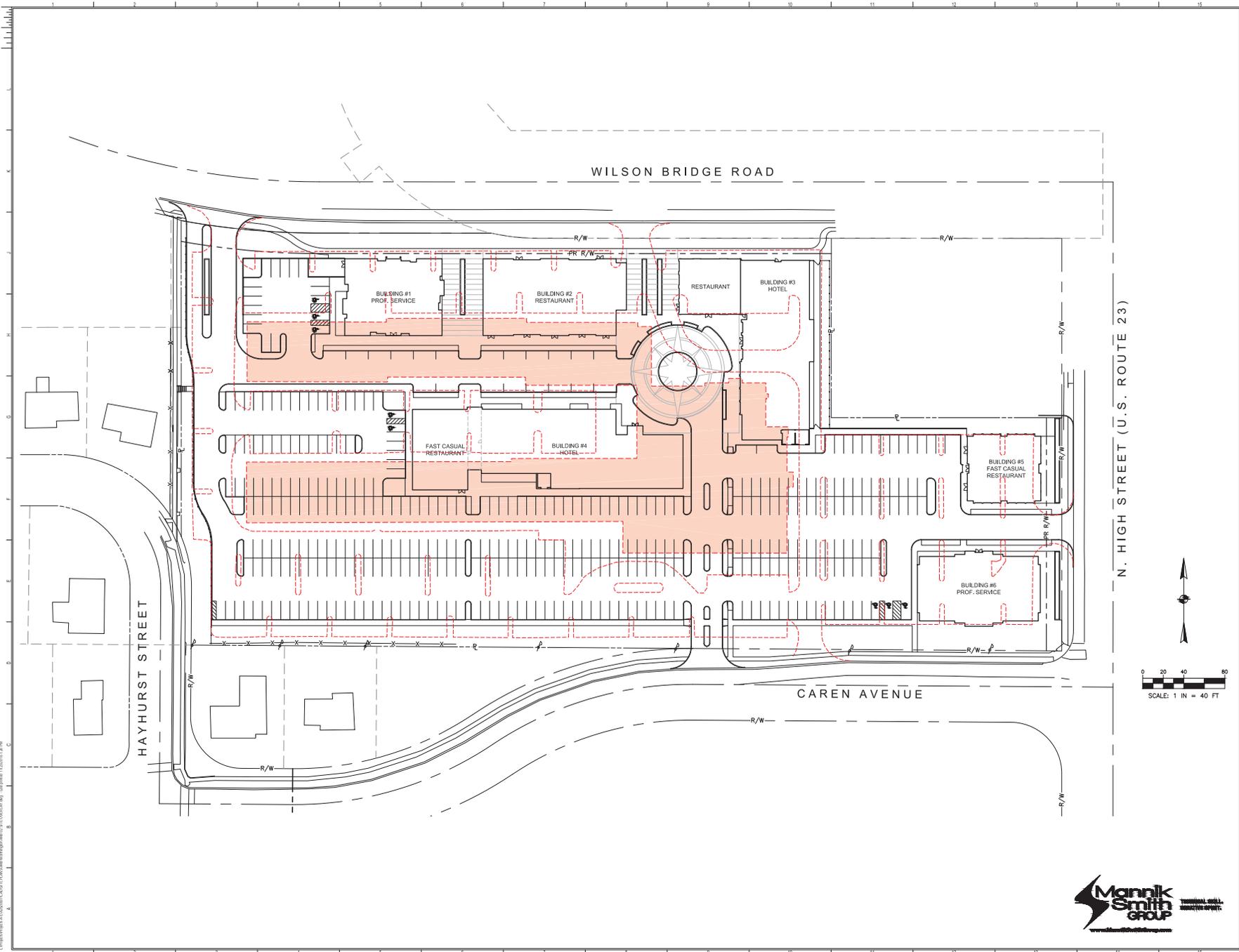
CIV-001

**SCOPE DOCUMENTS**

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**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY A&E	10/28/2015
2	ISSUE SUBMISSION 2	11/23/2016



**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO

The Witness Group

**SITE OVERLAY PLAN**

Designer	20150241
Principal in Charge	Project No.
Approver	11/23/16
Project Manager	Date
Checker	
Author	
Staff Architect	

**CIV-002**





**SCOPE DOCUMENTS**

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ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 1	11/23/2016



1 SITE PLAN  
EX-ARB-1 SCALE: 1/32" = 1'-0"

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
Owner

**SITE PLAN**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Author	
Self Architect	

**EX-ARB-1**

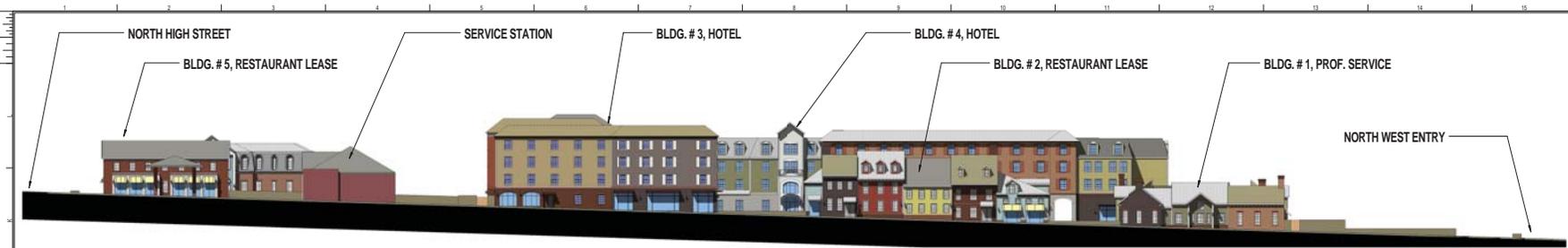
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DATE: 11/23/2016 12:02:39 PM  
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DRAWING NUMBER: EX-ARB-1  
DRAWING SCALE: 1/32" = 1'-0"  
DRAWING AUTHOR: J. JACKSON  
DRAWING CHECKED: J. JACKSON  
DRAWING APPROVED: J. JACKSON  
DRAWING DATE: 11/23/2016 12:02:39 PM



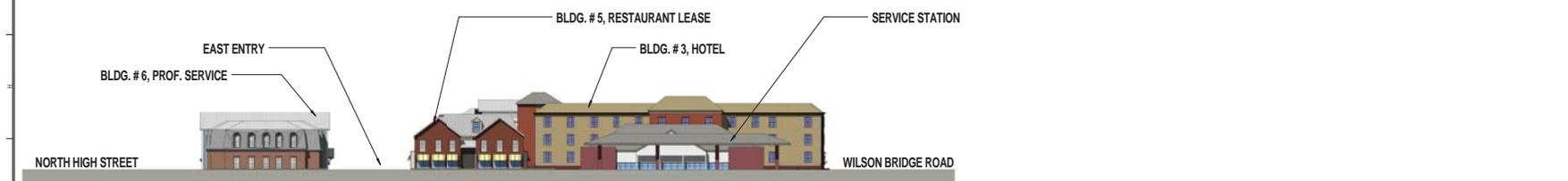
**SCOPE DOCUMENTS**

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ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



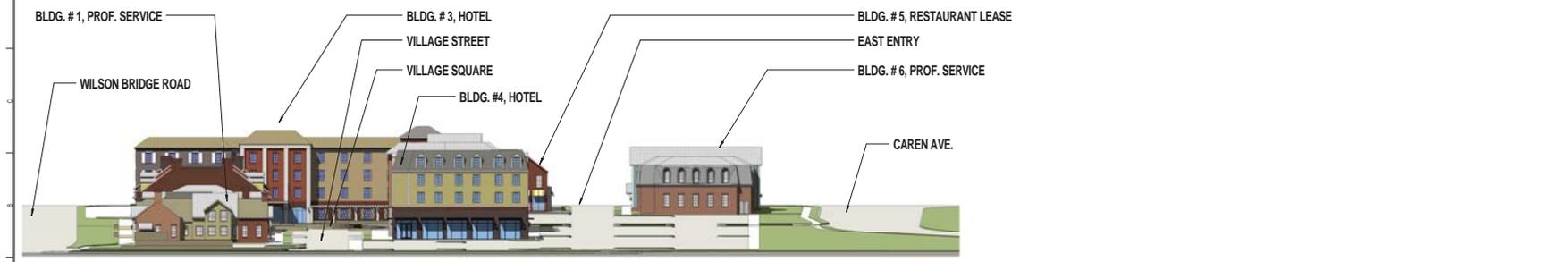
**1 SITE ELEVATION NORTH**  
EX-ARB-2 SCALE: 1" = 30'-0"



**3 SITE ELEVATION EAST**  
EX-ARB-2 SCALE: 1" = 30'-0"



**2 SITE ELEVATION SOUTH**  
EX-ARB-2 SCALE: 1" = 30'-0"



**4 SITE ELEVATION WEST**  
EX-ARB-2 SCALE: 1" = 30'-0"

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
Owner

**SITE ELEVATIONS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-2**

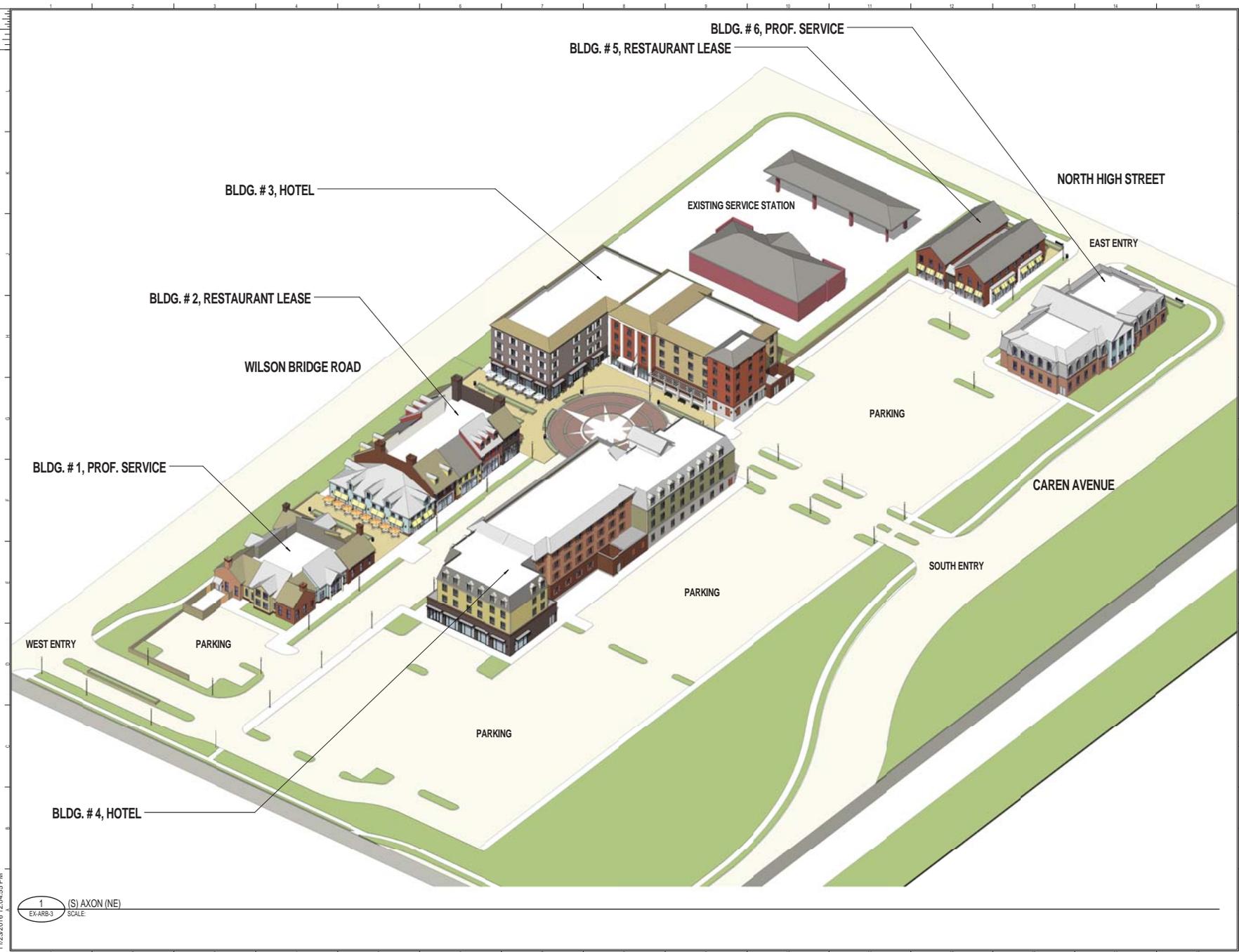
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DATE: 10/28/2016 10:50:41 AM DRAWING NO.: EX-ARB-2 DRAWING TITLE: SITE ELEVATIONS  
11/23/2016 12:04:03 PM



**SCOPE DOCUMENTS**

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ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
Owner

**SITE AXON NE**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-3**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
FILE PATH: C:\Users\jackson01431\Documents\20150241\2015\_0241\2015\_0241\_01\11/23/2016 12:04:55 PM

1 (S) AXON (NE)  
EX-ARB-3 SCALE

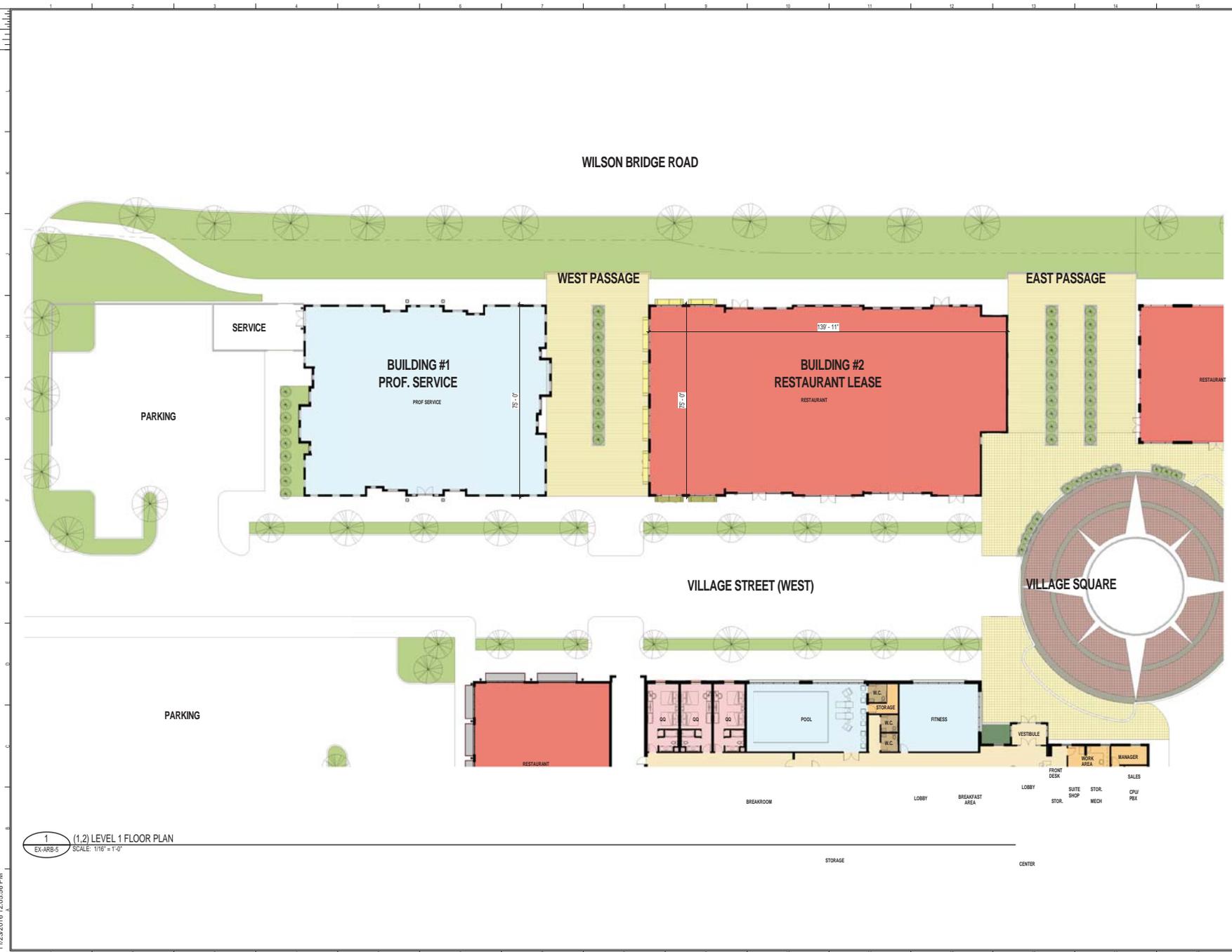




**SCOPE DOCUMENTS**

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ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 1	11/23/2016



PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 1000 W. HIGH ST. SERVICE BLDG. 2ND FLOOR  
 P.O. BOX 1000 W. HIGH ST. WORTHINGTON, OHIO 43084-1000  
 11/23/2016 12:05:56 PM

**1 (1,2) LEVEL 1 FLOOR PLAN**  
EX-ARB-5 SCALE: 1/16" = 1'-0"

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
↓  
Owner

**BLDG #1 PROF. SERVICE, BLDG #2 RESTAURANT**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-5**

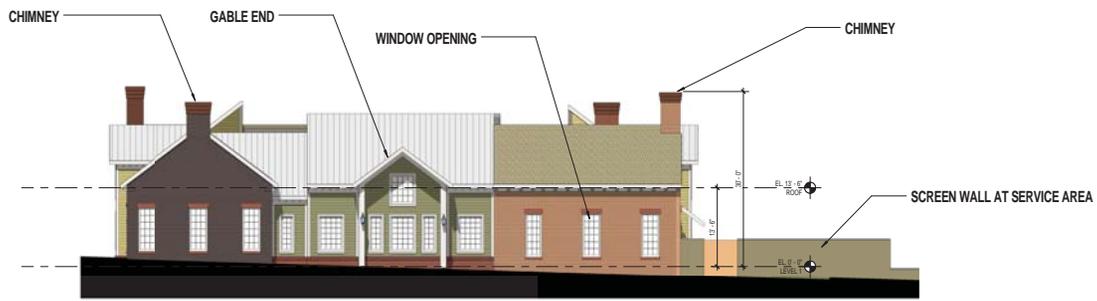


SCOPE DOCUMENTS

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ISSUANCES

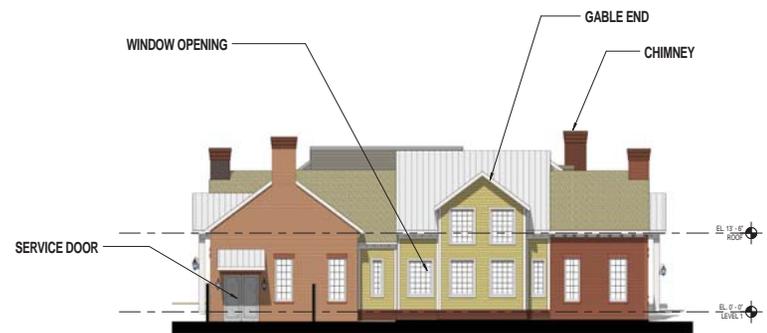
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



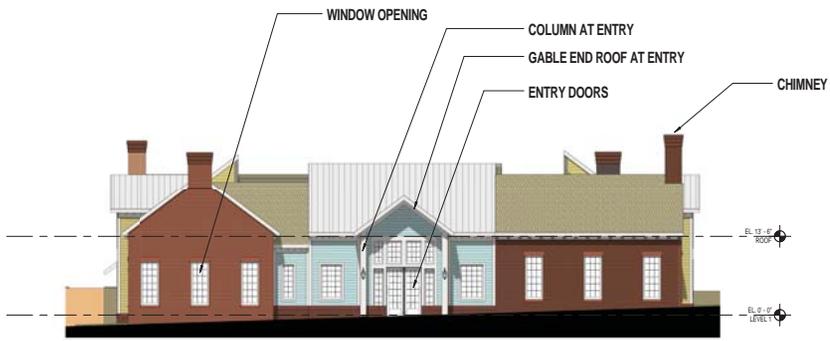
1 (1) ELEVATION NORTH  
EX-ARB-6 SCALE: 1" = 10'-0"



2 (1) ELEVATION EAST  
EX-ARB-6 SCALE: 1" = 10'-0"



4 (1) ELEVATION WEST  
EX-ARB-6 SCALE: 1" = 10'-0"



3 (1) ELEVATION SOUTH  
EX-ARB-6 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS  
ARE APPROXIMATE

ELEVATION DIAGRAMS,  
COLORS MAY NOT  
REFLECT ACTUAL  
MATERIAL SELECTIONS

THE VILLAGE AT  
WORTHINGTON SQUARE

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

WEST OFFICE ELEVATIONS

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

EX-ARB-6

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
LAST DATE OF USE: ELEVATIONS  
FILED: 10/28/2016 10:52:41 AM BY: amw@coopercarry.com  
11/23/2016 12:40:21 PM





**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not conditioned. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to give and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

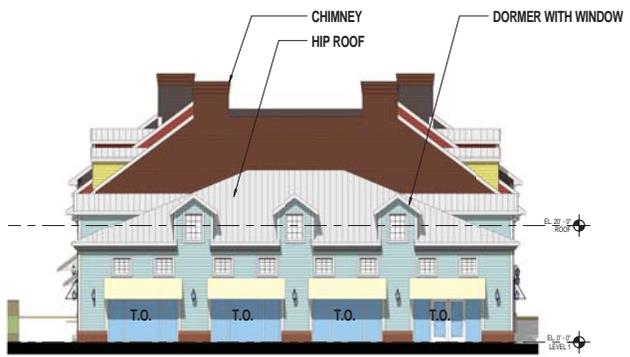
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



1 (2) ELEVATION NORTH  
EX-ARB-8 SCALE: 1" = 10'-0"



2 (2) ELEVATION EAST  
EX-ARB-8 SCALE: 1" = 10'-0"



4 (2) ELEVATION WEST  
EX-ARB-8 SCALE: 1" = 10'-0"



3 (2) ELEVATION SOUTH  
EX-ARB-8 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS ARE APPROXIMATE

ELEVATION DIAGRAMS, COLORS MAY NOT REFLECT ACTUAL MATERIAL SELECTIONS

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



**NORTH RESTAURANT ELEVATIONS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-8**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 ARCHITECT: COOPER CARRY ARCHITECTS, P.C. 6000 W. BROADWAY, SUITE 200, WASHINGTON, DC 20024  
 PLOTTED: 11/23/2016 10:52:41 AM 7: drawings\2015\20150241\1017.dwg  
 11/23/2016 12:43:53 PM

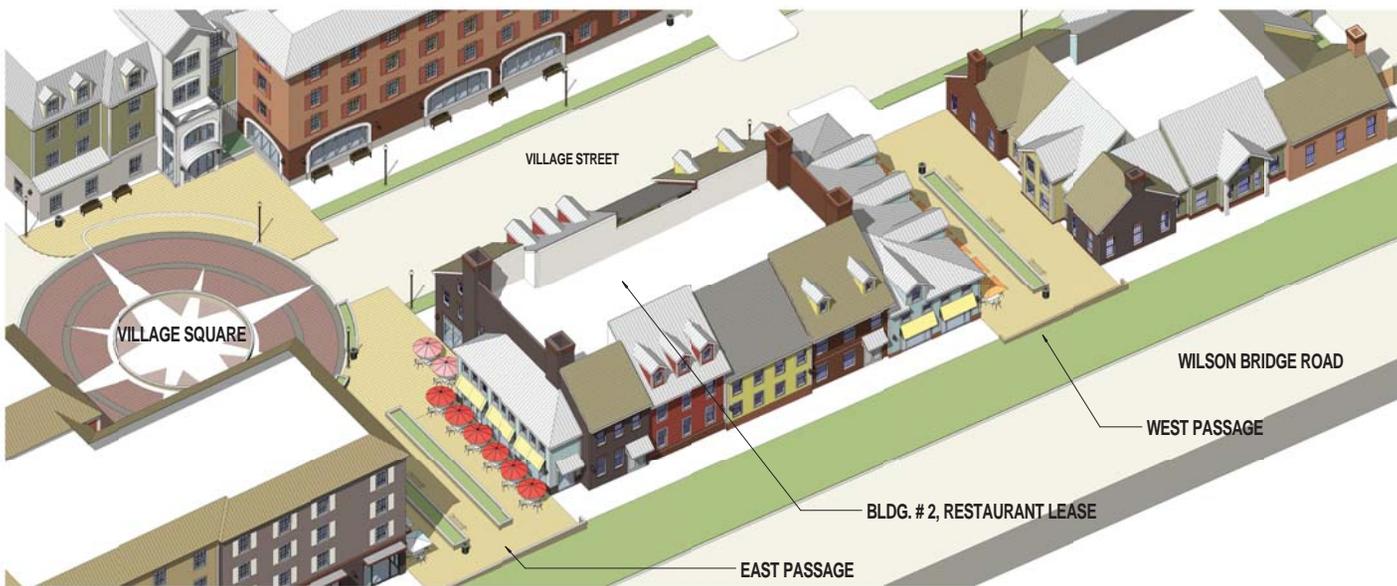


**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not coordinated. The documents depict the general concept of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Center and Architect of any omissions, inaccuracies or errors in the information provided. If the notices are given and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 1	11/23/2016



1 (2) AXON (NE)  
EX-ARB-9 SCALE:



2 (2) AXON (SW)  
EX-ARB-9 SCALE:

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**NORTH RESTAURANT AXONS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-9**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DRAWING NUMBER: NORTH RESTAURANT AXONS  
FILE PATH: P:\2015\20150241\20150241-9.dwg  
DATE: 11/23/2016 12:08:25 PM



**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be acceptable or not considered. The documents issued outline the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes, drawings and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 1	11/23/2016

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
↓  
Owner  
**BLDG #3 EAST HOTEL FLOOR  
PLANS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/18/2016
Project Manager	Date
Checker	Project Address
Author	
Self Architect	

**EX-ARB-10**

NOT ISSUED FOR CONSTRUCTION

WILSON BRIDGE ROAD

WILSON BRIDGE ROAD



**1** (3) LEVEL 1 FLOOR PLAN  
EX-ARB-10 SCALE: 1/16" = 1'-0"

**2** (3) LEVEL 2 FLOOR PLAN  
EX-ARB-10 SCALE: 1/16" = 1'-0"

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DATE: 10/18/2016 DRAWING NO.: EX-ARB-10  
PROJECT ADDRESS: 7007 N. HIGH ST WORTHINGTON, OHIO 43082  
DRAWN BY: J. JACKSON  
CHECKED BY: J. JACKSON  
DATE: 11/23/2016 12:08:37 PM



**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to give and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



1 (3) ELEVATION NORTH  
EX-ARB-11 SCALE: 1" = 10'-0"

3 (3) ELEVATION SOUTH  
EX-ARB-11 SCALE: 1" = 10'-0"



2 (3) ELEVATION EAST  
EX-ARB-11 SCALE: 1" = 10'-0"



4 (3) ELEVATION WEST  
EX-ARB-11 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS  
ARE APPROXIMATE

ELEVATION DIAGRAMS,  
COLORS MAY NOT  
REFLECT ACTUAL  
MATERIAL SELECTIONS

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
Owner

**EAST HOTEL ELEVATIONS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

**EX-ARB-11**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
PLOT: 150120150241057.dwg DRAWING NO: 11/23/2016 12:46:24 PM









**COOPER CARRY**  
THE CENTER FOR CONNECTIVE ARCHITECTURE

ATLANTA NEW YORK WASHINGTON

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**SCOPE DOCUMENTS**

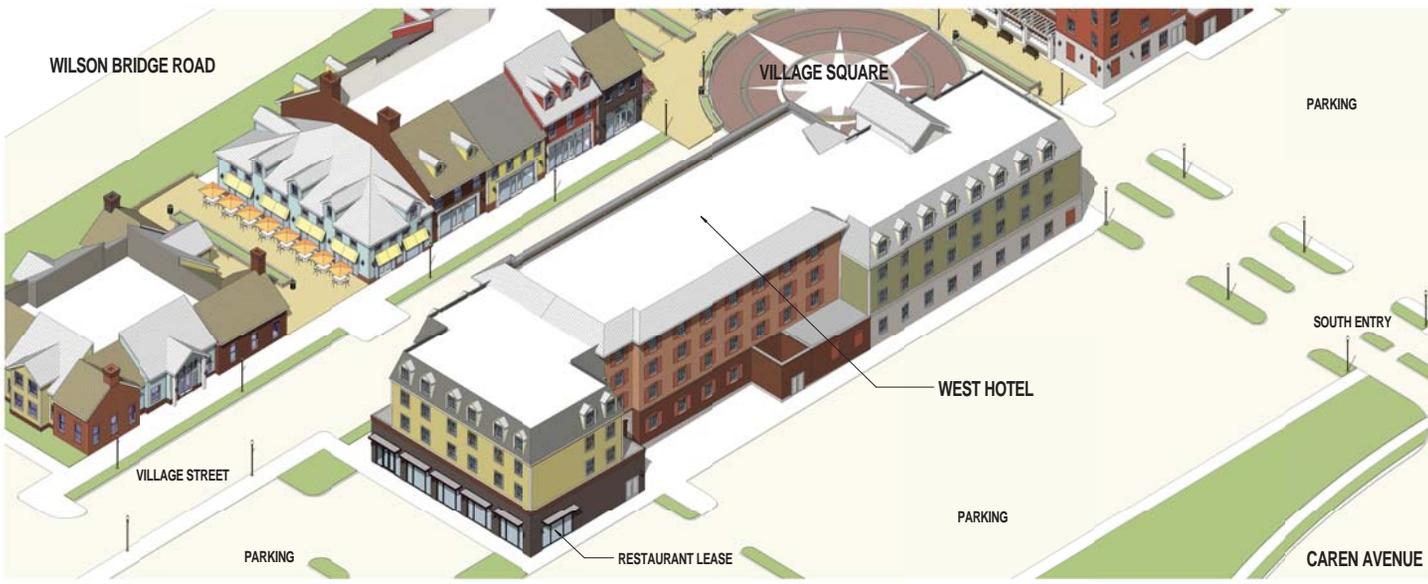
The Construction Documents have not been completed therefore this drawing may be acceptable or not considered. This document is not for construction. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any conditions, inaccuracies or errors in the information provided. If the Contractor gives and any conditions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



1 (4) AXON (NE)  
EX-ARB-15 SCALE



2 (4) AXON (SW)  
EX-ARB-15 SCALE

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner  
**WEST HOTEL AXONS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

**EX-ARB-15**

NOT ISSUED FOR CONSTRUCTION

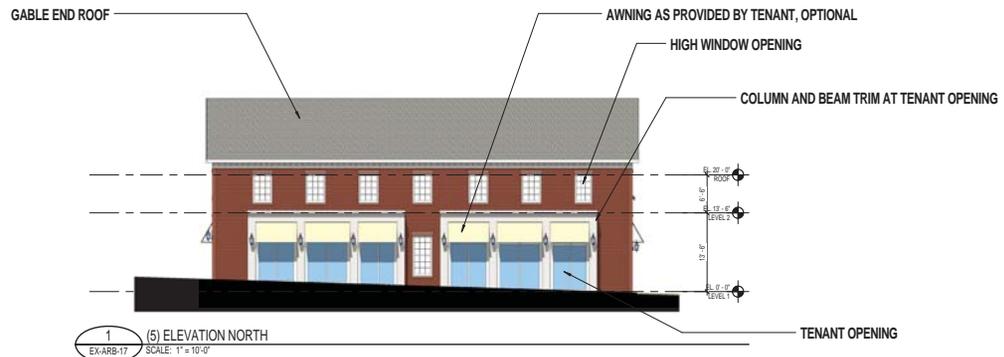
PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
FILE: WEST HOTEL AXONS  
P: 20150241 15024105 7 drawing.rvt / I:\workspace\20150241\_2015\_oped03\_jackson01431.rvt  
11/23/2016 12:13:04 PM





**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be acceptable or not considered. This document is issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to give and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 1	11/23/2016



**ELEVATION DIMENSIONS ARE APPROXIMATE**

**ELEVATION DIAGRAMS, COLORS MAY NOT REFLECT ACTUAL MATERIAL SELECTIONS**

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
↓  
Owner

**EAST RESTAURANT ELEVATIONS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-17**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
JUST RESUBMITTED FOR ANTECEDENT ELEVATION  
P: 301.505.2020 F: 301.505.2415 T: 301.505.2415  
11/23/2016 12:53:02 PM  
Drawing Path: \\workstation\proj\_3020150241\_2015\_opden03\_jackson01437.rvt



**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not conditioned. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes in green and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



1 (5) AXON (NE)  
EX-ARB-18 SCALE:



2 (5) AXON (SW)  
EX-ARB-18 SCALE:

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



**Owner**  
**EAST RESTAURANT AXONS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-18**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
JUST RESTAURANT AXONS  
P: 20150241 15024105 7 drawings 2/17/16 11/23/2016 12:13:54 PM  
11/23/2016 12:13:54 PM



**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not conditioned. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to give and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 1	11/23/2016

GABEL END  
GLASS ENTRY DOORS  
MANSARD ROOF

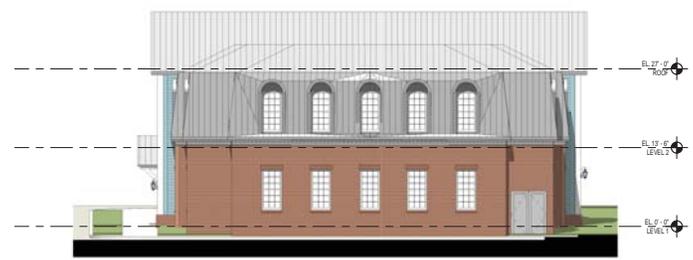
WINDOW OPENING AT LEVEL 2  
WINDOW OPENING AT LEVEL 1



1 (6) ELEVATION NORTH  
EX-ARB-19 SCALE: 1" = 10'-0"



2 (6) ELEVATION EAST  
EX-ARB-19 SCALE: 1" = 10'-0"



4 (6) ELEVATION WEST  
EX-ARB-19 SCALE: 1" = 10'-0"



3 (6) ELEVATION SOUTH  
EX-ARB-19 SCALE: 1" = 10'-0"

ELEVATION DIMENSIONS  
ARE APPROXIMATE

ELEVATION DIAGRAMS,  
COLORS MAY NOT  
REFLECT ACTUAL  
MATERIAL SELECTIONS

THE VILLAGE AT  
WORTHINGTON SQUARE

7007 N. HIGH ST  
WORTHINGTON, OHIO



EAST OFFICE ELEVATIONS

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

EX-ARB-19

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 PLOT: 10/28/2016 JUST OFFICE ELEVATIONS  
 PLOT: 10/28/2016 15:02:41 7: drawings 25 11: work in progress 3/2016/2441\_2015\_opd03\_jackson01431.rvt  
 11/23/2016 12:54:27 PM

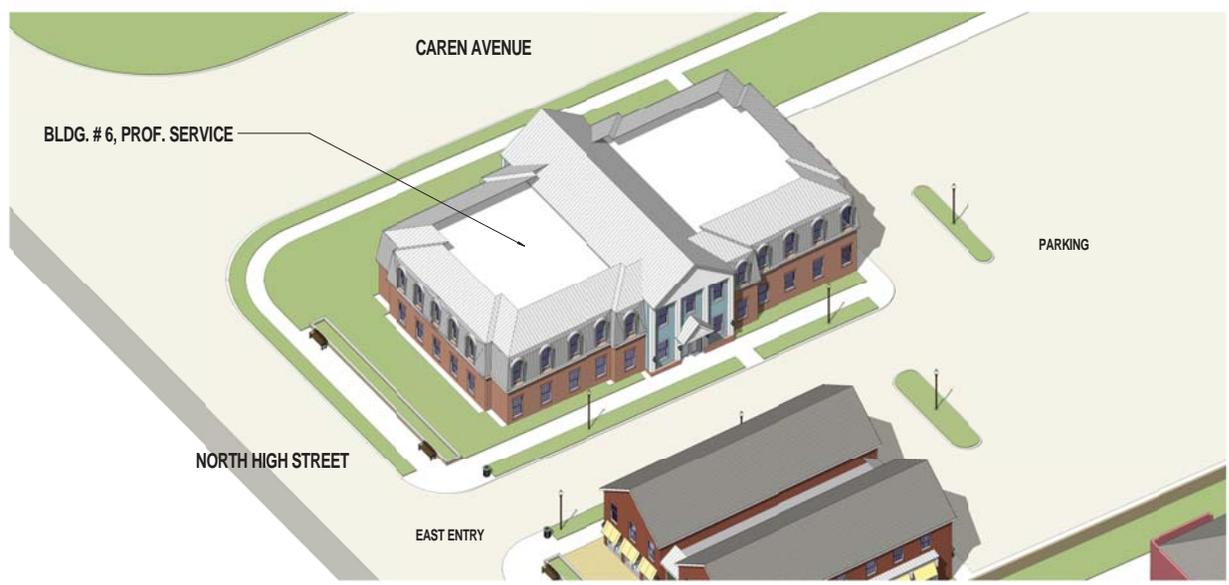


**SCOPE DOCUMENTS**

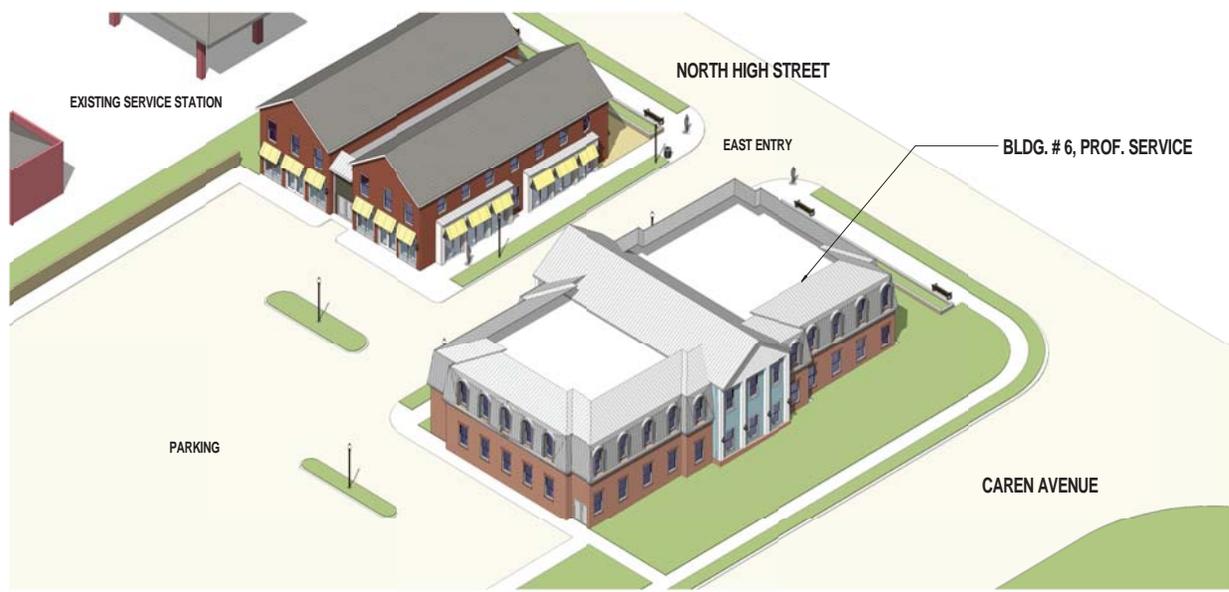
The Construction Documents have not been completed therefore this drawing may be acceptable or not conditioned. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the Contractor gives and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



1 (6) AXON (NE)  
EX-ARB-20 SCALE



2 (6) AXON (SW)  
EX-ARB-20 SCALE

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**EAST OFFICE AXONS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Author	
Self Architect	

**EX-ARB-20**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
JUST OFFICE AXONS  
P: 50150241 15024105 7 drawings 150241 7 17/11/2016 12:14:31 PM  
11/23/2016 12:14:31 PM



**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not considered. The documents depict the general concept of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If the Owner is given and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



1 CAMNORTH WEST ENTRY  
EX-ARB-21 SCALE



2 CAMEAST ENTRY  
EX-ARB-21 SCALE

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**CAMERA VIEWS ENTRY**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checklist	
Project Archivist	
Author	
Self Architect	

**EX-ARB-21**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
CAMNORTH WEST ENTRY  
P: 11/23/2016 15:02:41 2016 7 drawings 11/23/2016 12:18:24 PM  
11/23/2016 12:18:24 PM



**SCOPE DOCUMENTS**  
The Construction Documents have not been completed therefore this drawing may be acceptable or not considered. The documents depict the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Owner and Architect of any omissions, inconsistencies or errors in the information provided. If the notes or plans and any omissions, inconsistencies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

ISSUANCES		
No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 1	11/23/2016



1 CAMNORTH WEST PASSAGE  
EX-ARB-22 SCALE



2 CAMNORTH EAST PASSAGE  
EX-ARB-22 SCALE

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO  
Owner

**CAMERA VIEWS PASSAGE**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checklist	
Project Archivist	
Author	
Self Architect	

**EX-ARB-22**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DRAWN BY: JAMES WATSON  
DATE: 11/23/2016 12:21:24 PM  
FILE: 20150241\_150241\_02\_11\_23\_2016.dwg  
11/23/2016 12:21:24 PM



**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued describe the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state and local codes. The Contractor shall inform the Center and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to plans and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



**1** CAM/PLAZA/EAST HOTEL  
EX-ARB-23 SCALE:



**2** CAM/PLAZA/WEST HOTEL  
EX-ARB-23 SCALE:

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**CAMERA VIEWS PLAZA**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-23**

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
DRAWING NUMBER: 10/28/2016 DRAWING TITLE: CAM/PLAZA/EAST HOTEL  
DATE: 10/28/2016 10:52:41 AM 7:40 AM DRAWING FILE: 1:\workspaces\20150241\_2015\_opden03\_jackson01431.rvt  
11/23/2016 12:25:00 PM





**COOPER CARRY**  
THE CENTER FOR CONNECTIVE ARCHITECTURE

ATLANTA NEW YORK WASHINGTON

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**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not considered. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If no notice is given and any omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



NORTHWEST ENTRY, WILSON BRIDGE ROAD

THE VILLAGE AT  
WORTHINGTON SQUARE

7007 N. HIGH ST  
WORTHINGTON, OHIO

Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checker	
Project Architect	
Author	
Self Architect	

**EX-ARB-25**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 PLOT: 01010301015024105 2 drawing: 01010301015024105 1 revision: 01010301015024105 1  
 11/23/2016 11:54:10 AM









**COOPER CARRY**  
THE CENTER FOR CONNECTIVE ARCHITECTURE

ATLANTA NEW YORK WASHINGTON

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**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not conditioned. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the Project is given and the omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



SOUTH ENTRY, CAREN AVENUE, looking EASTWARD



SOUTH ENTRY, CAREN AVENUE

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Author	
Self Architect	

**EX-ARB-29**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
PLOT: 02/01/2016 15:24:15 2' drawing: 02-1 revision: 02/01/2016 11:54:10 AM  
11/23/2016 11:54:10 AM



**COOPER CARRY**  
THE CENTER FOR CONNECTIVE ARCHITECTURE

ATLANTA NEW YORK WASHINGTON

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**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinated pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to plans and the omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

**EX-ARB-30**

HAYHURST STREET LOOKING EAST

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
PLOT: 02150241-150241-05-2 drawing: 02150241-150241-05-21 rev: 11/23/2016 11:54:10 AM  
11/23/2016 11:54:10 AM

NOT ISSUED FOR CONSTRUCTION



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ATLANTA NEW YORK WASHINGTON

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**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be incomplete or not coordinated. The documents depict the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notice is given and the omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 1	11/23/2016



**EAST HOTEL AT VILLAGE SQUARE**

**THE VILLAGE AT  
WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Author	
Self Architect	

**EX-ARB-31**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 DESIGNER: JASON B. BOYER PROJECT NO.: 20150241  
 DATE: 10/28/2016 DRAWN BY: J. BOYER  
 11/23/2016 11:54:10 AM



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**SCOPE DOCUMENTS**

The Construction Documents have not been completed therefore this drawing may be acceptable or not considered. The documents issued outside the general scope of the Project. The Contractor is responsible for complete and coordinate pricing and Work, and shall include all items necessary for the proper execution and completion of the Project, whether indicated or not. All components of the Project shall comply with any and all requirements of national, state, and local codes. The Contractor shall inform the Owner and Architect of any omissions, inaccuracies or errors in the information provided. If the notes to plans and the omissions, inaccuracies or errors are discovered, the Architect's decisions on items of Work included in the scope shall be binding on the Contractor, when consistent with the general scope and quality of the Project.

**ISSUANCES**

No.	Drawing Issue Description	Date
1	PRELIMINARY ARB	10/28/2016
2	ARB SUBMISSION 2	11/23/2016



WEST HOTEL AT VILLAGE SQUARE

**THE VILLAGE AT WORTHINGTON SQUARE**

7007 N. HIGH ST  
WORTHINGTON, OHIO



Owner

**RENDERINGS**

Designer	20150241
Principal in Charge	Project No.
Approver	10/28/2016
Project Manager	Date
Checked	
Project Architect	
Author	
Self Architect	

**EX-ARB-32**

NOT ISSUED FOR CONSTRUCTION

PROJECT NUMBER: 20150241 PROJECT NAME: THE VILLAGE AT WORTHINGTON SQUARE  
 PLOT: 02/10/2016 15:02:41 7: drawing: 02-1 rev: 10/28/2016 11:54:10 AM  
 P: 02/10/2016 15:02:41 7: drawing: 02-1 rev: 10/28/2016 11:54:10 AM



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 125-16
Date Received	10/28/16
Fee	\$2
Meeting Date	11-10-16
Filing Deadline	
Receipt #	
Extension of AR	
45-14	

1. **Property Location** 2182 W. Dublin Granville Road, 43085
2. **Present/Proposed Use** A vacant bank/convenience store with gas sales
3. **Zoning District** C-4
4. **Applicant** United Dairy Farmers, Inc. c/o Donald Plank, Plank Law Firm, LPA  
**Address** 423 E. Town St., Fl. 2, Columbus, OH 43215  
**Phone Number(s)** (614) 947-8600
5. **Property Owner** United Dairy Farmers, Inc.  
**Address** 3955 Montgomery Road, Cincinnati, OH 45212  
**Phone Number(s)** Timothy A. Kling (513) 396-8744
6. **Project Description** Demolish existing building, construct new convenience store with gasoline sales and ice cream parlor on two properties
7. **Project Details:**
  - a) **Design** Residential Style
  - b) **Color** Primarily earth tones with accents
  - c) **Size** 4,536 s.f.
  - d) **Approximate Cost** \$3,000,000      **Expected Completion Date** Summer 2017

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Donald Plank attorney      10/28/16  
 Applicant (Signature)      Date

Donald Plank attorney      10/28/16  
 Property Owner (Signature)      Date

**SUPPORTING STATEMENT**  
**2182 W. Dublin Granville Road**  
Submitted 10/28/16

In 2014, the City of Worthington granted a number of approvals to permit the redevelopment of the property at 2182 W. Dublin Granville Road, for a United Dairy Farmers store with gasoline sales and ice cream parlor. One of those approvals was the Architectural Review Board's granting of a Certificate of Appropriateness. Since receiving the approvals, obtaining other development entitlements has been quite difficult.

Because the property is in two municipal jurisdictions, a joint municipal agreement had to be entered into with the City of Worthington and the City of Columbus. An access easement had to be obtained from the adjacent property owner. A storm sewer easement was obtained from the church. The City of Columbus required site plan approval which included significant engineering of the intersection. A portion of Linworth Road had to be annexed into the City of Worthington, etc.

For all these reasons, an extension of the Certificate of Appropriateness is being requested by this application.

## Worthington 11/16/2016 Comment Response

### Drawing A1:

- Bollard color has been noted on updated plan. Detail revised. Photo attached to note unit installed at recent UDF site.
- Light pole detail changed to note height and fixture. Photo attached to note unit installed at recent UDF site.
- Cutoff fixture location noted on light pole detail and related Drawings.

### Drawing A2:

- We are reviewing options available for the freestanding (monument type) for installation at the SW corner of the property. Sample photo of recent monument sign provided for style and information we like to provide. Base of this sign would be brick detailing same as building.
- AEP has been contacted. Their intent is to install the unit where shown and consider they have jurisdiction to install within granted easement they will request/receive. All new installations normally fall within building setbacks. This has never been a problem at new construction sites. Natural shrub screening would be provided on Condo side of transformer.
- New fence noted with comment that UDF will work with Condo group and church regarding specifics of placement. Photo attached to note fence style and detail from recent UDF site.
- Flag pole height and flag size has been noted on plan. Photo attached to note unit installed at recent UDF site.
- 

### Drawing A3:

- Photo of UDF typical gas protection pipe guard provided shows placement and finish. Yellow placed at top of guard for visual clarity and awareness to customer of its location.

### Drawing A4:

- Signage on canopy has been corrected to note two units total.

### Drawing A6.1:

- Outdoor eating canopy has been relocated. Photo attached to note unit installed at recent UDF site.

#### Drawing A10:

- Front elevation brick wainscot corrected to show consistency. All other sides of building will continue this detail.
- As noted above, all bollards, protection pipes will be finished in a matching format.
- The east elevation has been changed to show the correct location of the patio canopy and table placements as noted on A2 and A6.1. Photo attached to note unit installed at recent UDF site.

#### Drawing A11:

- As referenced above, the brick detailing and pattern of wainscot will continue on this elevation.
- Placement of service doors has been changed to support the new interior design of the store. This change in design has occurred since the original ARB submittal.
  
- Flag Pole - Commented on above and noted on Drawing A2.
- Dumpster enclosure larger due to UDF policy of recycling cardboard at its stores.
- Driveway design and widths are ODOT approved.
- Utility connections have been approved by the City of Columbus and are noted on their CC and EE documents.
  
- Other drawings have been revised and are also submitted for replacement in the Building Permit Application sets. These note and incorporate the above comment changes and other minor corrections to errors found, for clarification of the intended work.

#### Drawings Included:

Drawings 7, 9, 12, 19, 20.

# 2182 W. Dublin-Granville Rd.





TRAILER  
PARKING  
ONLY

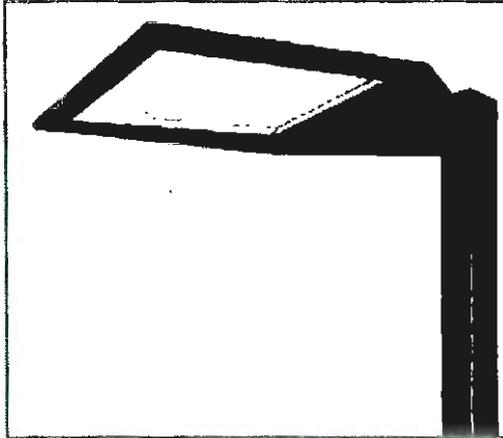
CITY OF WORTHING  
AR 128-16  
DRAWING NO.

DATE 10-28-10



CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.  
DATE 10-28-16

# LED AREA LIGHTS - LSI SLICE MEDIUM (XLCM)



US & Int'l. patents pending

**SMARTTEC™** - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature, providing typical operation for 100,000 hours (contact factory for TM-21 life estimate for specific configuration).

**ENERGY SAVING CONTROL OPTION - DIM** - 0-10 volt dimming enabled with controls by others. .

**LEDS** - Select high-brightness LEDs in 5000K, or 4000K color temperature, 70 CRI.

**DISTRIBUTION/PERFORMANCE** - Types 3, FT, FT-L, FT-R, 5, and enhanced 5E and FTE. FT-L and FT-R allow for D180 mounting configurations with factory set optics for applications such as automotive front row. Exceptional uniformity creates bright environment at lower light levels. Internal Louver (IL) option available for improved backlight control without sacrificing street side performance for FT distribution. Consult factory for internal louver for FT-L and FT-R applications.

**HOUSING** - One-piece, die-formed aluminum housing contains factory prewired driver. Wiring access door (with safety lanyard) located underneath.

**OPTICAL UNIT** - Clear tempered flat glass lens permanently sealed to weather-tight aluminum optic frame creates an IP65 rated optical unit (includes pressure-stabilizing breather).

**MOUNTING** - Tapered rear design allows fixtures to be mounted in 90° and 120° configurations without the need for extension arms. Use with 3" reduced drilling pattern. A round pole plate is required for mounting to round poles. Wall mount available by ordering wall mounting bracket (BKS-XBO-WM-\*--CLR). Proprietary pole quick mount accessories available with horizontal mounting or fixed 15° angled mounting (PQM15-KIT-CLR and PQM15-KIT-CLR) for mounting to square poles. Top mounted reinforcement bracket for high wind or vibration (up to 36) applications available as installed option or field-mount accessory.

**ELECTRICAL** - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277 VAC (50/60Hz input), and 347-480 VAC. Optional button-type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

**DRIVER** - Available in SS (Super Saver) and HO (High Output) drive currents. Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F)

**FINISH** - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Available in black, bronze and white. Other standard LSI finishes available. Consult factory.

**WARRANTY** - LSI LED fixtures carry a limited 5-year warranty.

**PHOTOMETRICS** - Please visit our web site at [www.lsi-industries.com](http://www.lsi-industries.com) for detailed photometric data.

**SHIPPING WEIGHT (in carton)** - One fixture: 25.25 lbs. (11.5 kg). Packed two per carton: 43.5 lbs. (19.7 kg).

**LISTING** - UL listed to U.S. and international safety standards. Suitable for wet locations. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at [www.designlights.org](http://www.designlights.org).

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



Fixtures comply with ANSI C136.31-2010 American National Standard for Roadway Lighting Equipment - Luminaire Vibration 1.5G requirements.

## DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit [www.lightingfacts.com](http://www.lightingfacts.com) for specific catalog strings.

### LIGHT OUTPUT - XLCM

		Lumens (Nominal)				Watts (Nominal)	
		Type 3	Type FT	Type 5	Type 6E		Type FTE
Cool White	SS	19900	22800	22900	15500	15800	193
	HO	27500	30900	31100	21200	21100	278
Neutral White	SS	19300	20000	20600	15000	15000	193
	HO	26700	27800	28500	20100	20400	278

LED Chips are frequently updated therefore values may increase.

CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.

DATE 10-28-16



Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_  
Catalog # \_\_\_\_\_

07/28/16

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LSI INDUSTRIES INC.

# LED AREA LIGHTS - LSI SLICE MEDIUM (XLCM)

## LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XLCM 5 LED SS 50 UE BLK PCI120**

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Options
XLCM	3 - Type III 5 - Type V FT - Forward Throw FT-L - Forward Optic Rotated for D180 Mount (Left Side) FT-R - Forward Optic Rotated for D180 Mount (Right Side) 5E - Type V Enhanced FTE - Forward Throw Enhanced	LED	SS - Super Saver HD - High Output	CW - Cool White (5000K) NW - Neutral White (4000K)	UE - Universal Voltage (120-277V) 347-480 Universal Voltage (347-480V)	BLK - Black BRZ - Bronze WHT - White	DIM - 0-10V Dimming (from external signal) Button Type Photocells PCI120 - 120V PCI208-277V - 208-277V PCI347 - 347V IL - Internal Louver (available with FT distribution only) HV - Vibration Reinforcement Bracket

### LUMINAIRE EPA CHART - XLCM

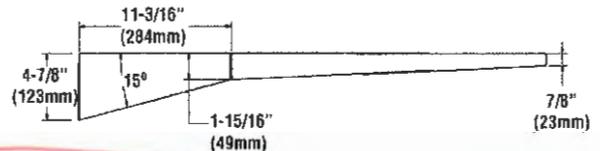
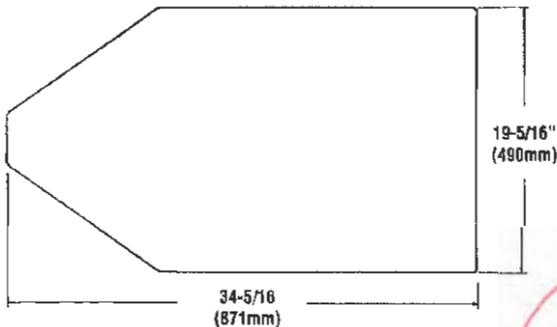
	Single	0.5
	D180°	1.0
	D90°	0.8
	T90°	1.7
	TN120°	1.7
	Q90°	1.9

Note: House Side Shield adds to fixture EPA. Consult Factory.

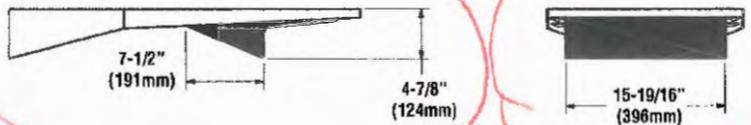
### FOOTNOTES:

- House Side Shields add to fixture EPA. Consult factory.
- Fusing must be located in the hand hole of pole.

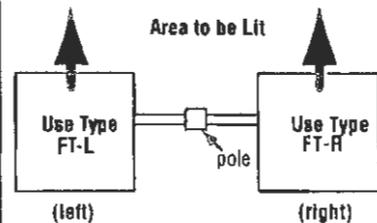
### DIMENSIONS



### HOUSE SIDE SHIELD (rear mount)



### LEFT AND RIGHT VERSIONS OF TYPE FT REFLECTORS (TOP VIEW)



Note: Optics are not field-rotatable. For D180 Forward Throw installations specify left (FT-L) and/or right (FT-R) side mounting. Orientation is based on standing at the pole and looking out at the area to be lit.

House Side Shield

CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.

DATE 10-28-16



Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_  
Catalog # \_\_\_\_\_

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LSI INDUSTRIES INC.

# LED AREA LIGHTS - AEROMAX™ SMALL (XASU)



## DOE LIGHTING FACTS

Department of Energy has verified representative product test data and results in accordance with its Lighting Facts Program. Visit [www.lightingfacts.com](http://www.lightingfacts.com) for specific catalog strings.

US patent 7826456, 7952293, 8002426 and CAN 2893131 & 2701653 and US & Int'l. patents pending

**SMARTTEC™** - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature.

**ENERGY SAVING CONTROL OPTIONS** - DIM - 0-10 volt dimming enabled with controls by others. BLS - Bi-level switching responds to a 120-277V signal from separate controller or sensor (by others), with low light level decreased to 30% maximum drive current.

**OCCUPANCY SENSOR (IMS)** - Optional internal passive infrared motion sensor activates switching of luminaire light levels. High level light is activated and increased to full bright in 1-2 seconds upon detection of motion. Low light level (30% maximum drive current) is activated when target zone is absent of motion activity for ~ 2 minutes and ramps down (10-15 sec.) to low level to allow eyes time to adjust. Sensor is located on the front of optical assembly. Sensor optic has a detection cone of approximately 45°. Examples of detection - occurs 30' out from a 30' mounting height pole; occurs 20' out from a 20' mounting height pole.

**LEDS** - Select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature. 70 CRI.

**DISTRIBUTION/PERFORMANCE** - Types 3, FT and 5. Exceptional uniformity creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.

**HOUSING** - One-piece, die-formed aluminum. Weather-tight housing contains factory prewired driver and field connections. Extruded one-piece EPDM gasketed wiring access door (with safety lanyard) is located underneath and utilizes tool-less thumbscrew fastener. Fixture is IP65 rated.

**OPTICAL UNIT** - Clear tempered optical grade flat glass lens sealed to aluminum optics housing creates a sealed optical unit (includes pressure-stabilizing breather). Optical unit is recessed into housing cavity and sealed to the housing with extruded one-piece EPDM gasket. Optical unit lanyard serves dual purposes of safety and provides positive ground between unit and housing.

**MOUNTING** - Tapered rear design allows fixtures to be mounted in a quad pattern without the need for extension arms. Use with 3" reduced drilling pattern on round and square poles. A round pole plate (X4RPP, X5RPP) is required for mounting to round poles. Wall mount available by ordering wall mounting bracket (BKS-XBO-WM-\*-CLR). See Accessory Ordering Information chart for all brackets.

**ELECTRICAL** - A terminal block for attachment of incoming primary wiring is supplied. Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (50/60Hz input), and 347-480 VAC. Optional twistlock photocell receptacle is available. Photocell must be ordered separately.

**DRIVER** - Available in SS (Super Saver) and HO (High Output) drive currents (Drive currents are factory programmed). Components are fully encased in potting material for moisture resistance. Driver complies with IEC and FCC standards. Driver and key electronic components can easily be accessed.

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F).

**FINISH** - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

**WARRANTY** - LSI LED fixtures carry a limited 5-year warranty.

**PHOTOMETRICS** - Please visit our web site at [www.lsi-industries.com](http://www.lsi-industries.com) for detailed photometric data.

**SHIPPING WEIGHT (in carton)** - 31 lbs. / 14.1 Kg

**LISTING** - ETL listed to U.S. and International safety standards. Suitable for wet locations. For a list of the specific products in this series that are DLC listed, please consult the LED Lighting section of our website or the Design Lights website at [www.designlights.org](http://www.designlights.org).

LIGHT OUTPUT - XASU						
		# of LEDs	Lumens (Nominal)			Watts (Nominal)
			Type 3	Type FT	Type 5	
Cool White	SS	64	7000	6200	6100	69
	HO	64	8500	7650	7500	89
Neutral White	SS	64	6700	5700	5600	69
	HO	64	7900	6700	6700	89

LED Chips are frequently updated therefore values may increase.

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



Fixtures comply with ANSI C136.31-2010 American National Standard for Roadway Lighting Equipment - Luminaire Vibration 3G requirements.

CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.

DATE 10-28-16



Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_  
Catalog # \_\_\_\_\_

10/19/16  
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LSI INDUSTRIES INC.

# LED AREA LIGHTS - AEROMAX™ SMALL (XASU)

## LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **XASU FT LED 64 HO CW UE WHT PCR**

Prefix	Distribution	Light Source	# of LEDs	Drive Current	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XASU	3 - Type III 5 - Type V FT - Forward Throw	LED	64	SS - Super Saver HO - High Output	CW - Cool White (5000K) NW - Neutral White (4000K)	UE - Universal Voltage (120-277)  347-480 - Universal Voltage (347-480V)	BLK - Black BRZ - Bronze GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	<b>Wireless Control System</b> <sup>1,2</sup> (blank) - None PCM - Platinum Control System PCMH - Host/Satellite Platinum Control System GCM - Gold Control System GCMH - Host/Satellite Gold Control System DIM - 0-10 volt dimming (required for satellite fixtures)  <b>Stand-Alone Control</b> (blank) - None DIM - 0-10 volt dimming <sup>3</sup> (from external signal) BLS - Bi-level Switching <sup>4</sup> (from external signal - required 120-277V controls system voltage)	<b>Sensor</b> IMS - Integral Motion Sensor <sup>5</sup>  <b>Options</b> PCR - Photoelectric Control Receptacle <sup>6</sup>

### LUMINAIRE EPA CHART - XASU

Beam Spread	EPA
Single	0.9
D180°	2.0
D90°	1.6
T90°	2.7
TN120°	2.8
Q90°	3.1

Note: House Side Shield adds to fixture EPA. Consult Factory.

### ACCESSORY ORDERING INFORMATION<sup>1</sup>

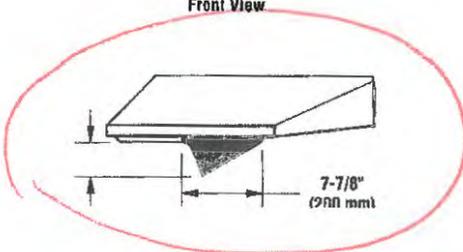
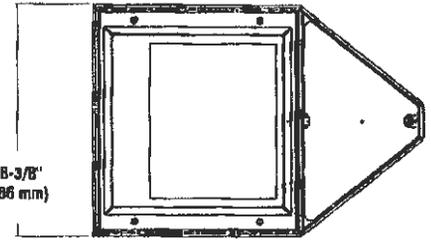
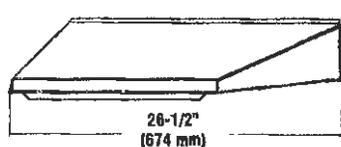
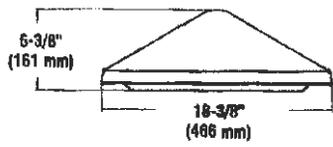
(Accessories are field installed)

Description	Order Number	Description	Order Number
BKA-XBO-EC-6-CLR 6" Extension Arm	382136CLR	FK120 Single Fusing (120V)	FK120 <sup>7</sup>
BKS-XBO-WM-"-CLR Wall Mounting Bracket	382132CLR	FK277 Single Fusing (277V)	FK277 <sup>7</sup>
XASU-HSS House Side Shield (Black only)	544103BLK <sup>8</sup>	DFK208, 240 Double Fusing (208V, 240V)	DFK208,240 <sup>9</sup>
X4RPP Round Pole Plate for 4" Poles	379967CLR	DFK480 Double Fusing (480V)	DFK480 <sup>9</sup>
X5RPP Round Pole Plate for 5" Poles	379968CLR	FK347 Single Fusing (347V)	FK347 <sup>7</sup>
PC120 Photocell for use with PCR option (120V)	122514 <sup>8</sup>	PMOS120 120V Pole-Mount Occupancy Sensor	519030CLR <sup>10</sup>
PC208-277 Photocell for use with PCR option (208V, 240V, 277V)	122515 <sup>8</sup>	PMOS208/240 208V, 240V Pole-Mount Occupancy Sensor	534239CLR <sup>10</sup>
PC347 Photocell for use with PCR option (347V)	159516 <sup>8</sup>	PMOS277 277V Pole-Mount Occupancy Sensor	518029CLR <sup>10</sup>
PC480 Photocell for use with PCR option (480V)	1225180 <sup>8</sup>	PMOS480 480V Pole-Mount Occupancy Sensor	534240CLR <sup>10</sup>

### FOOTNOTES:

- For wireless controls information and accessories, see Controls section.
- Requires a SiteManager and override switch. Not compatible with BLS or IMS option.
- Not compatible with IMS or BLS option.
- Not compatible with wireless controls system, DIM or IMS option.
- Not compatible with wireless controls system, DIM or BLS option.
- Photocell must be ordered separately. See Accessories.
- House Side Shields add to fixture EPA. Consult factory.
- Factory installed PCR option required. See Options.
- Fusing must be located in the hand hole of pole.
- To be used in conjunction with any of the PCM/GCM wireless controls systems in fixture. Consult factory.

### DIMENSIONS



House Side Shield

Bottom View

CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.

DATE 10-28-16



Project Name \_\_\_\_\_ Fixture Type \_\_\_\_\_  
Catalog # \_\_\_\_\_



PRIVATE  
TOWN ADMINISTRATION

NO ADVERTISING  
OR SIGNAGE

CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.  
DATE 10-28-16



CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.  
DATE 10-28-16



CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.  
DATE 10-28-16

# United Dairy Farmers

REGULAR

1.99<sup>9</sup>

DIESEL

2.08<sup>9</sup>

 PNC BANK

 U-Drive  
Fuel Rollback

 Busken  
Bakery

CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.

DATE 10-28-16



CITY OF WORTHINGTON

AR 128-16  
DRAWING NO.

DATE 10-28-16



Brick Example

CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.

DATE 10-28-16



CITY OF WORTHINGTON  
AR 128-16  
DRAWING NO.

DATE 10-28-16

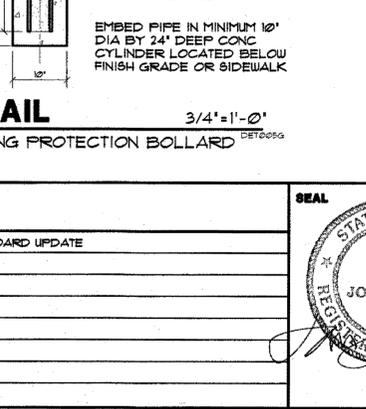
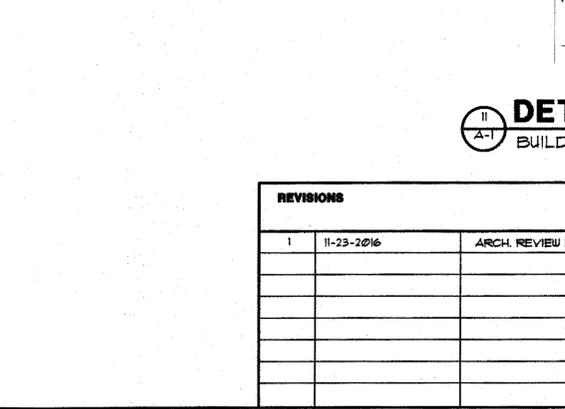
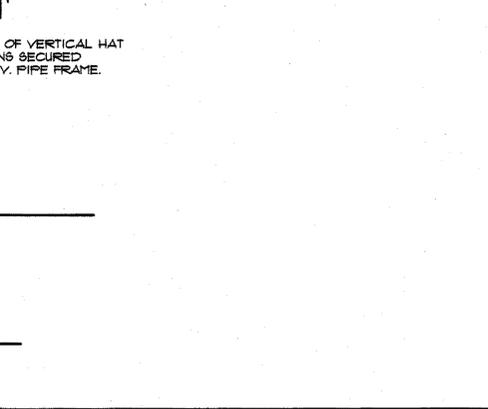
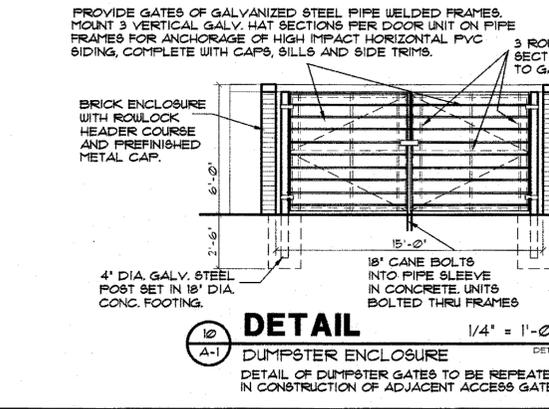
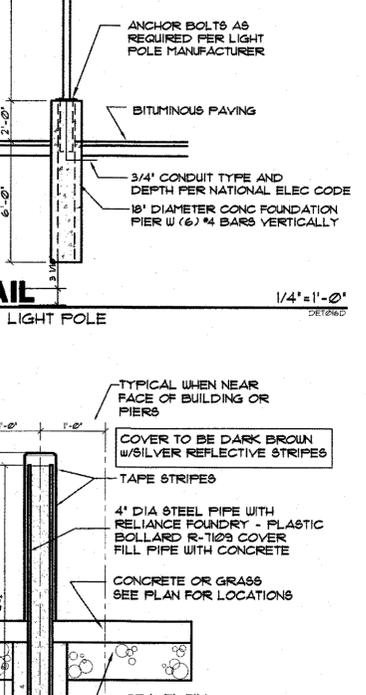
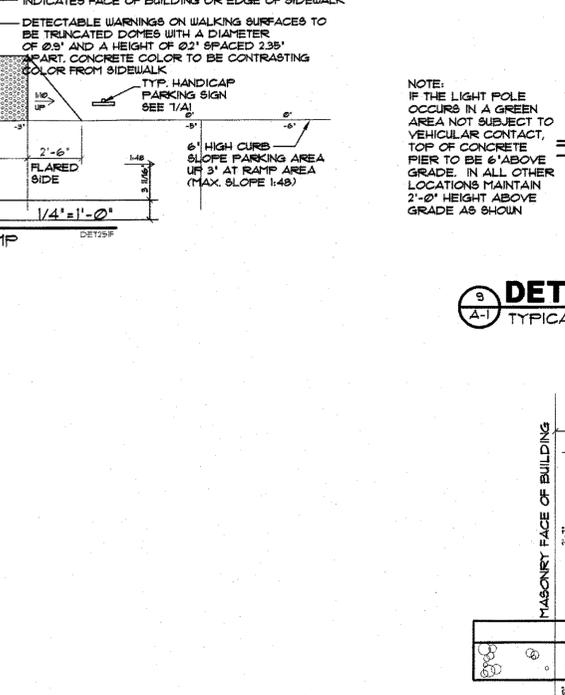
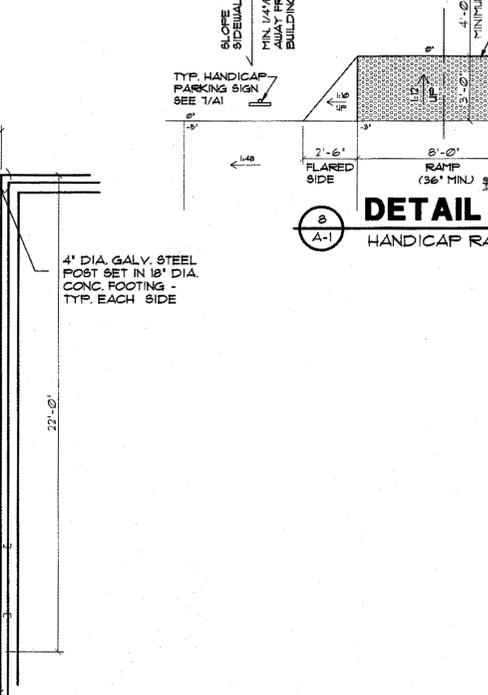
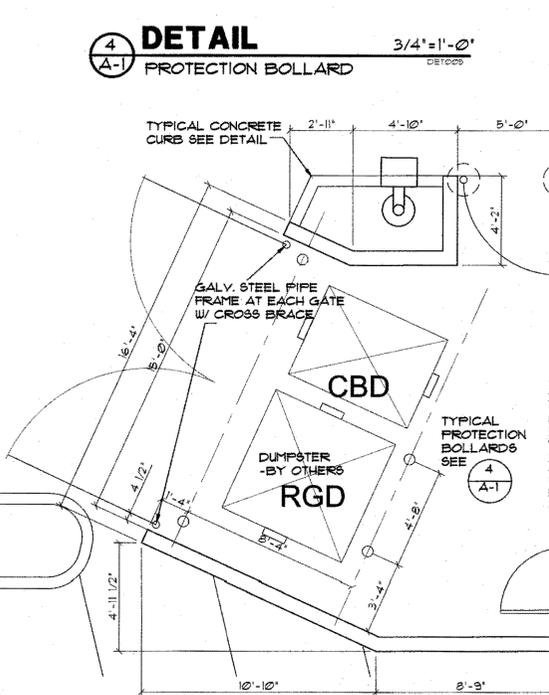
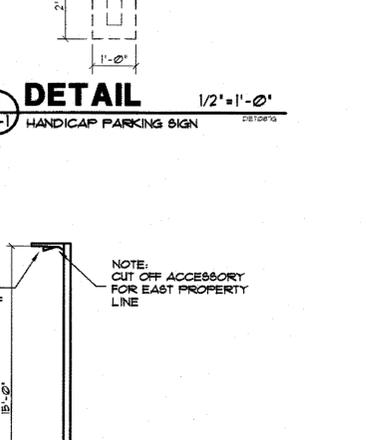
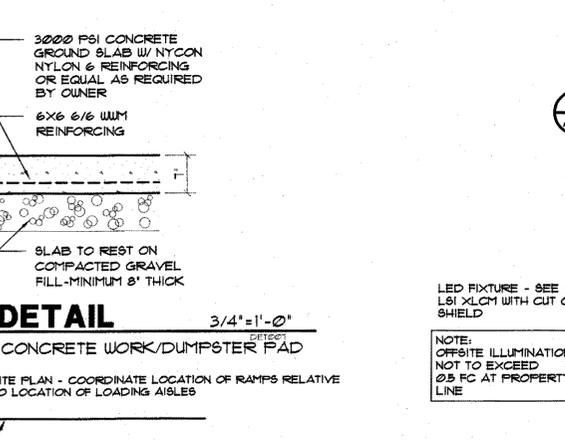
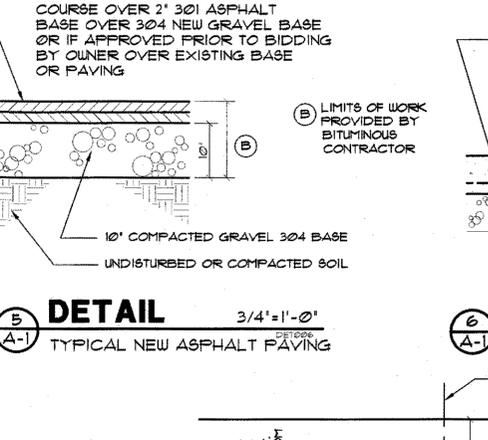
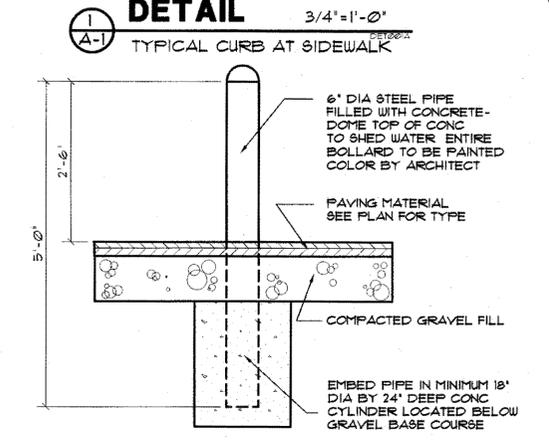
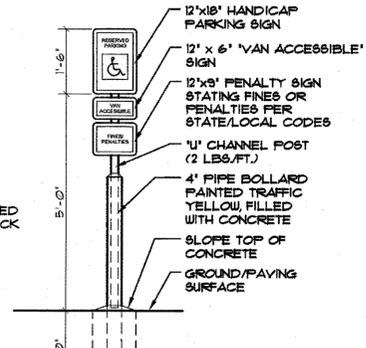
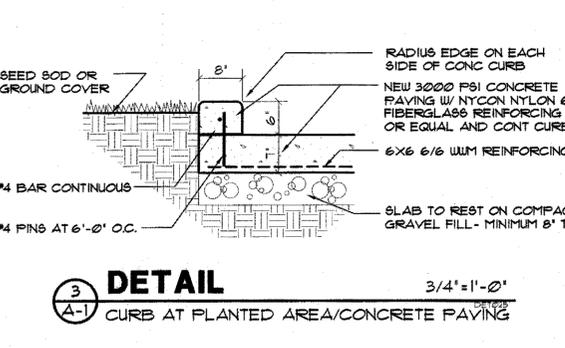
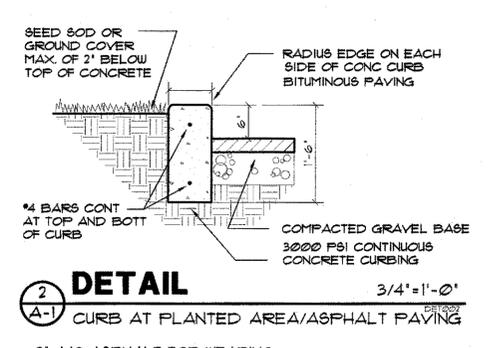
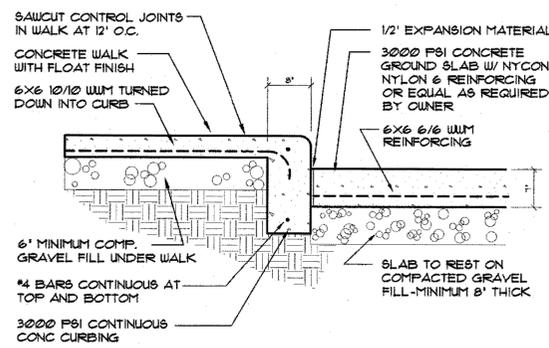
# A CONVENIENCE STORE FOR UNITED DAIRY FARMERS

3955 MONTGOMERY ROAD  
CINCINNATI, OHIO 45212

**SITE**  
2204 WEST DUBLIN GRANVILLE ROAD  
COLUMBUS, OHIO 43085

## DRAWING INDEX

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E-2	CIRCUIT MANAGER WIRING DIAGRAM				
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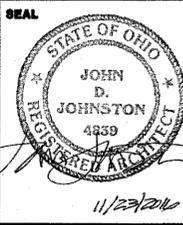
## BUILDING CODE REVIEW

ZONING:	CC-A
AREA OF UDF DEVELOPMENT:	0.91 ACRES (39,576 SQ. FT.)
BUILDING USE GROUP:	M-1 MERCANTILE, 'A-2' ASSEMBLY
STORE:	NOTE: 'A-2' ASSEMBLY USE ALLOWED IN PARCEL AS AN ACCESSORY USE AREA OF LESS THAN 150 SQ. FT. PER SEC. 529.31
GAS CANOPY:	M-1 MERCANTILE
BUILDING CONSTRUCTION TYPE:	V-B
BUILDING AREA:	4,801 SQUARE FEET
UDF STORE:	3,840 SF - 24'-0" x 160'-0"
GAS CANOPY:	
OCCUPANT LOAD:	
UDF: SALES AREA:	1867 SF/30 = 63
STORAGE/STOCK:	2684 SF/300 = 9
ACCESSORY USE 'A-2':	250 SF/15 = 17
TOTAL:	89 PERSONS
PARKING PROVIDED:	35 TOTAL SPACES PROVIDED
	25 PARKING SPACES PLUS
	10 GAS FUELING STATIONS
PARKING REQUIRED:	30 SPACES (1 SPACE PER 150 SF)
SIGNAGE:	GROUND SIGN UNDER SEPARATE PERMIT
	BUILDING MARQUEE (UDF) 36 SQUARE FEET
	GAS CANOPY LOGO 12 SQUARE FEET (2 SIDES @ 20 SF/SIGN & 2 SIDES @ 16 SF/SIGN)
TOTAL SIGNAGE:	SQUARE FEET

## SIGNAGE

PROJECT SIGNAGE WILL BE APPLIED FOR UNDER SEPARATE PERMIT - FOR LOCATIONS OF BUILDING MARQUEE, AND GAS CANOPY LOGOS, PROFILES & SIZES DESIRED ARE INDICATED/SHOWN ON THESE DRAWINGS A-1, A-4, A-10

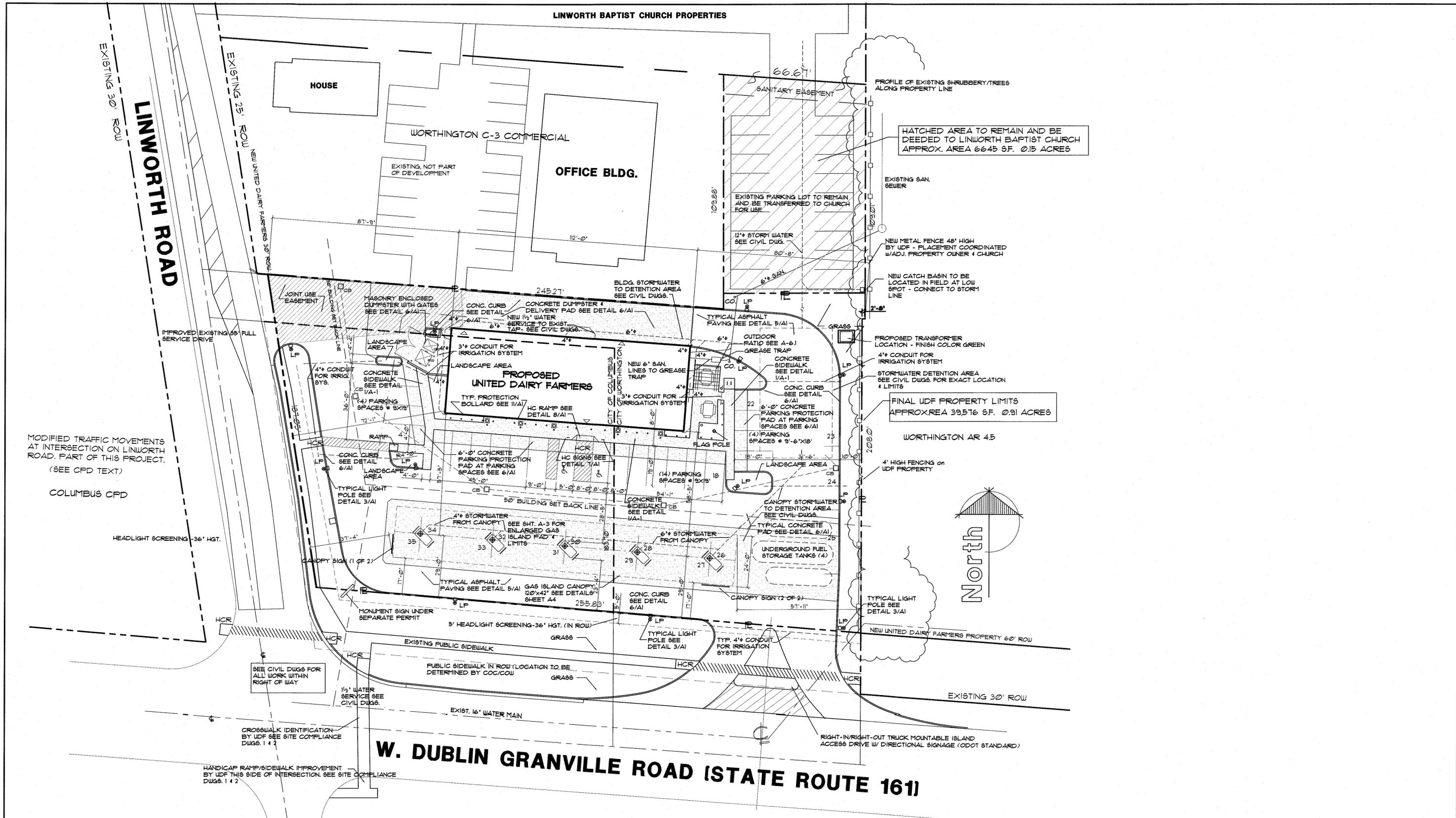
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1	11-23-2016	ARCH. REVIEW BOARD UPDATE



A CONVENIENCE STORE FOR  
**UNITED DAIRY FARMERS**  
2204 WEST DUBLIN GRANVILLE ROAD  
COLUMBUS, OHIO 43085

**JOHN D. JOHNSTON ARCHITECTS**  
3955 MONTGOMERY ROAD  
CINCINNATI, OHIO 45212 513-396-8743

JOB NO.	SHEET NO.
	<b>A1</b>
DRAWN BY	CHECKED BY
DATE	STORE NO.
11.17.16	613

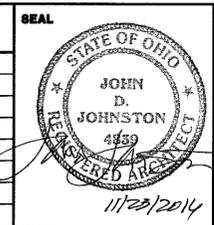


1  
A2

**ARCHITECTURAL SITE PLAN**

WORTHINGTON C-2 COMMERCIAL

REVISIONS		
1	11-23-2016	ARCH. REVIEW BOARD UPDATE



A CONVENIENCE STORE FOR  
**UNITED DAIRY FARMERS**  
 2204 WEST DUBLIN GRANVILLE ROAD  
 COLUMBUS, OHIO 43085

**JOHN D. JOHNSTON ARCHITECTS**  
 3955 MONTGOMERY ROAD  
 CINCINNATI, OHIO 45212 513-396-8743

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CHECKED BY	
DATE 11.17.16	STORE NO. 613

CS- COMMUNITY SERVICE COMMERCIAL DISTRICT

MODIFIED TRAFFIC MOVEMENTS AT INTERSECTION ON LINWORTH ROAD. PART OF THIS PROJECT. (SEE CPD TEXT)

COLUMBUS CPD

HEADLIGHT SCREENING - 36' HGT.

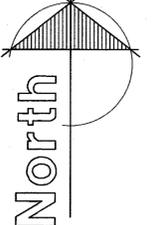
SEE CIVIL DUGS FOR ALL WORK WITHIN RIGHT OF WAY

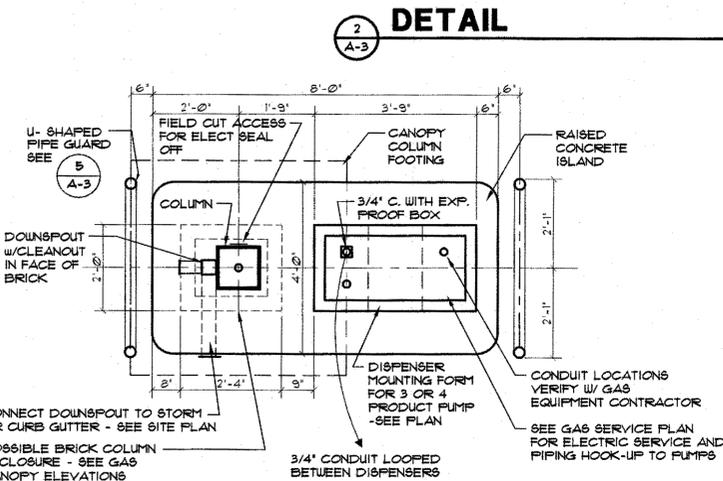
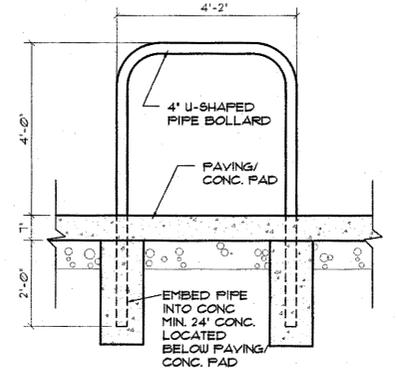
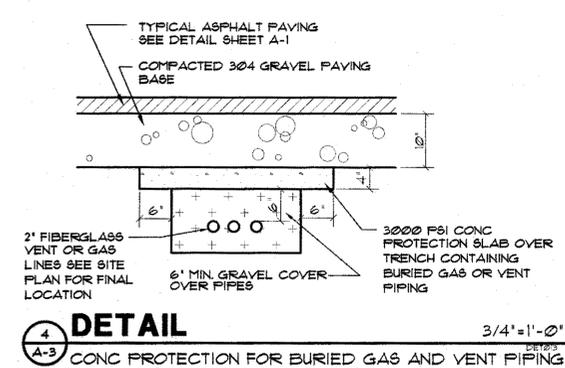
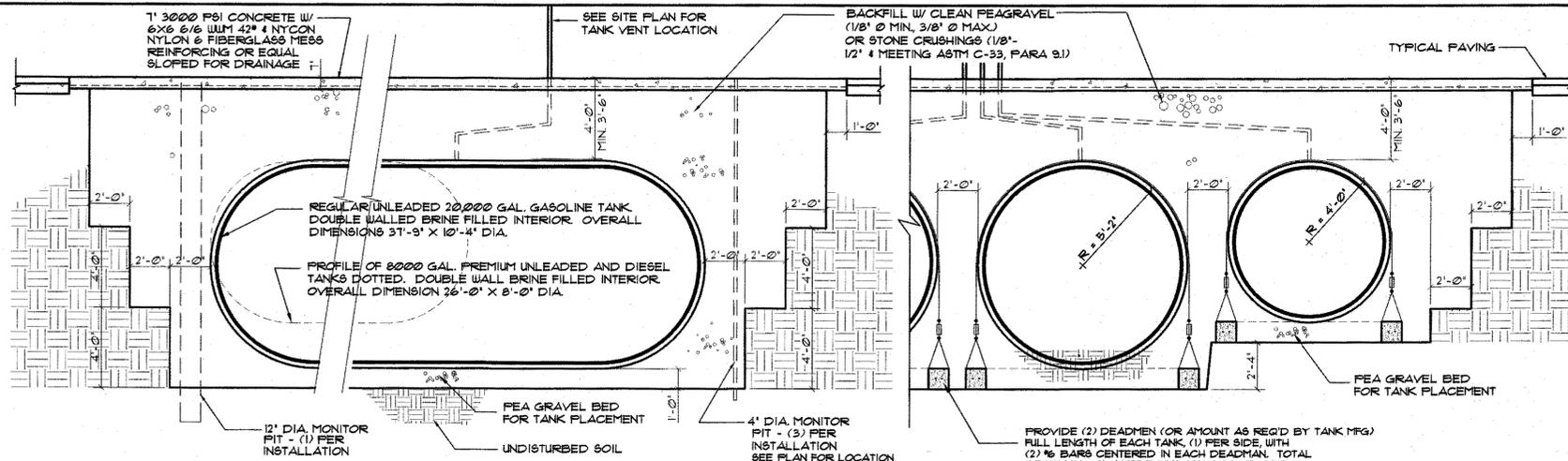
CROSSWALK IDENTIFICATION BY UDF SEE SITE COMPLIANCE DUGS. 1 & 2

HANDICAP RAMP/SIDEWALK IMPROVEMENT BY UDF THIS SIDE OF INTERSECTION. SEE SITE COMPLIANCE DUGS. 1 & 2

HATCHED AREA TO REMAIN AND BE DEEDED TO LINWORTH BAPTIST CHURCH APPROX. AREA 6645 S.F. 0.15 ACRES

FINAL UDF PROPERTY LIMITS APPROX. AREA 39,516 S.F. 0.91 ACRES





**DETAIL 3** 3 (OR 4) PRODUCT PUMP ISLAND AT CANOPY COLUMN  
1/2" = 1'-0"  
DET0725

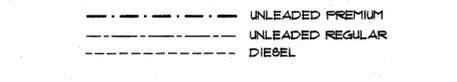
- DISPENSER WIRING REQUIREMENTS**
- CONDUIT A**  
AC SERVICE IN 1" CONDUIT  
WIRING COLOR GUIDE:  
SPARE #2 NO COLOR  
SPARE #2 BROWN  
POWER (2 WIRES) #2 BLACK AND WHITE  
GROUND #2 GREEN  
SUPER UNLEADED #4 ORANGE  
REGULAR #4 PINK  
DIESEL #4 PURPLE  
SPARE #4 NO COLOR
- CARD READER CONTROL SERVICE 4 #14'S IN SAME 1" CONDUIT (A)  
WIRING COLOR GUIDE:  
TALK TO CONSOLE BLACK #14  
TALK TO DISPENSER RED #14  
DC COMMON (DCC) YELLOW #14  
SPARE FULL STRING BLUE #14
- CONDUIT B**  
INTERCOM IN 1" CONDUIT  
GENERAL CABLE #28140 18 GA.  
3 CONDUCTOR SHIELDED (WET CONDITIONS)  
#14 CU WIRE - GREEN  
FULL STRING

- GAS TANK AREA WIRING REQUIREMENTS**
- CONDUIT C**  
BRINE MONITOR WIRING IN 3/4" CONDUIT FROM BUILDING TO EACH TANK BRINE MONITORING ACCESS POINT  
1 - GENERAL CABLE #28140 18 GA. (TOTAL OF 4)  
3 CONDUCTOR SHIELDED (WET CONDITIONS)  
#14 CU WIRE - GREEN
- CONDUIT D**  
MONITOR/TRANSDUCER WIRING, PUMP PROB IN 3/4" CONDUIT TO EACH TANK  
3 - GENERAL CABLE #28140 18 GA.  
3 CONDUCTOR SHIELDED (WET CONDITIONS)  
#14 CU WIRE - GREEN  
FULL STRING
- CONDUIT E**  
POWER WIRING - 2 HP GAS SUBMERGE PUMPS IN 3/4" CONDUIT TO EACH PUMP (3)  
4 - #2 CU WIRE - BLACK, RED, ORANGE AND GREEN  
FULL STRING
- CONDUIT F**  
POWER WIRING - 3/4 HP DIESEL PUMP IN 3/4" CONDUIT  
3 - #2 CU WIRE - YELLOW, YELLOW, GREEN  
FULL STRING
- CONDUIT G**  
PROBE WIRING IN 3/4" CONDUIT (2 CONDUITS FROM BUILDING - PER DISPENSER)  
3 - GENERAL CABLE #28140 18 GA.  
3 CONDUCTOR SHIELDED (WET CONDITIONS)  
#14 CU WIRE - GREEN  
FULL STRING

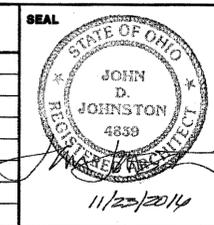
**GAS EQUIPMENT INSTALLATION NOTES**

- SHIELDED CABLE EQUAL TO GENERAL CABLE #28140 18 GA. 3 CONDUCTOR SHIELDED (WET CONDITIONS)
- AC AND INTERCOM WIRING SHALL NOT BE RUN THROUGH THE SAME CONDUIT OR TROUGH WHEN STUBBED INTO THE BUILDING.
- PROVIDE INSTALLATION WITH EMERGENCY SHUT-OFF POWER SYSTEM, WHERE RECOMMENDED/REQUIRED, BY LOCAL FIRE MARSHALL.
- ALL EQUIPMENT, FITTINGS TO BE UL/NFPA/NEC RATED, AND/OR APPROVED.
- THE FOLLOWING ELECTRICAL ITEMS IN GASOLINE DISPENSING AND SERVICE STATIONS SHALL MEET THE REQUIREMENTS OF ARTICLE 514 NEC.
  - WIRING AND EQUIPMENT ABOVE CLASS 1 LOCATIONS WILL COMPLY WITH SECTIONS 514.1 AND 514.11 NEC. REFERENCE SECTION 514-4 NEC
  - EACH CIRCUIT LEADING TO OR THROUGH A DISPENSING PUMP WILL BE PROVIDED WITH A SWITCH OR OTHER ACCEPTABLE MEANS TO DISCONNECT SIMULTANEOUSLY FROM THE SOURCE OF SUPPLY ALL CONDUCTORS OF THE CIRCUIT, INCLUDING THE GROUNDING NEUTRAL, IF ANY. REFERENCE SECTION 514.11 NEC.
  - AN APPROVED SEAL WILL BE PROVIDED IN EACH CONDUIT RUN ENTERING OR LEAVING A DISPENSER OR IN ANY CAVITIES OR ENCLOSURES IN DIRECT COMMUNICATION THEREWITH. THE SEALING FITTING WILL BE THE FIRST FITTING AFTER THE CONDUIT EMERGES FROM THE EARTH OR CONCRETE. REFERENCE SECTION 514.8 NEC. ADDITIONAL SEALS WILL BE PROVIDED IN ACCORDANCE WITH SECTION 501.1 AND SECTION 501.2(A)(1)(B) WILL APPLY TO HORIZONTAL AS WELL AS TO VERTICAL BOUNDARIES OF THE DEFINED CLASS 1 LOCATION. REFERENCE SECTION 501.8 AND 514.4 NEC.
  - METAL PORTION OF DISPENSING PUMPS, METAL RACEWAYS, AND ALL NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT, REGARDLESS OF VOLTAGE SHALL BE GROUNDING AS PROVIDED IN ARTICLE 250. REFERENCE SECTION 514.8 NEC.
  - UNDERGROUND WIRING WILL BE INSTALLED IN THREADED RIGID METAL CONDUIT OR THREADED STEEL INTERMEDIATE METAL CONDUIT. ANY PORTION OF THE ELECTRICAL WIRING OR EQUIPMENT WHICH IS BELOW THE SURFACE OF A CLASS 1 (DIVISION 1 OR DIVISION 2) LOCATION (AS DEFINED IN TABLE 514.3) WILL BE CONSIDERED TO BE IN A CLASS 1 DIVISION 1 LOCATION WHICH WILL EXTEND AT LEAST TO THE POINT OF EMERGENCE ABOVE GRADE. REFERENCE SECTION 514.8 NEC.
- PROVIDE GROUNDING BUSHING AT EACH END OF PIPES.

**1 GAS PIPING PLAN** 1" = 10'  
**GAS PIPING LEGEND**



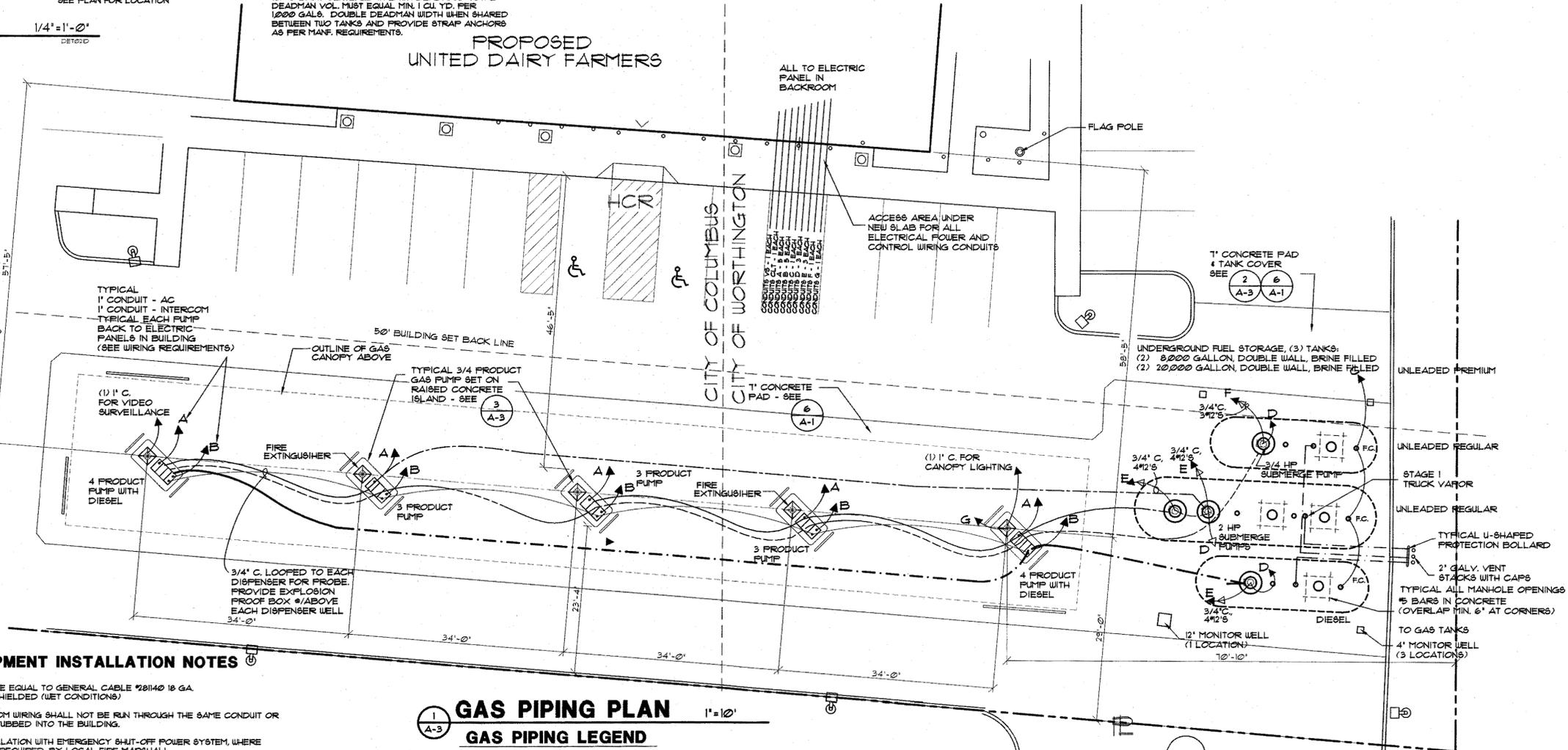
REVISIONS		
1	11-23-2016	ARCH. REVIEW BOARD UPDATE

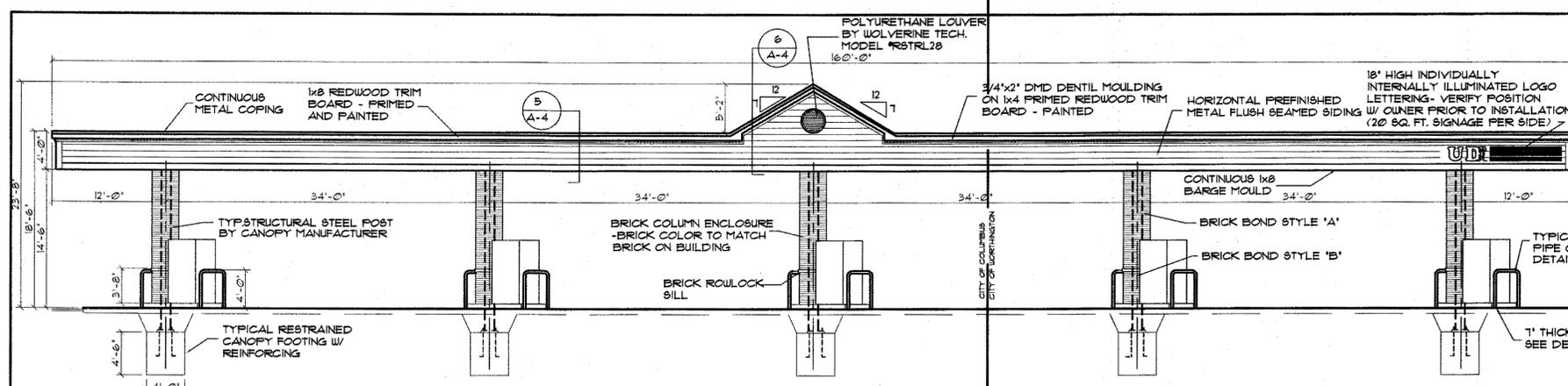


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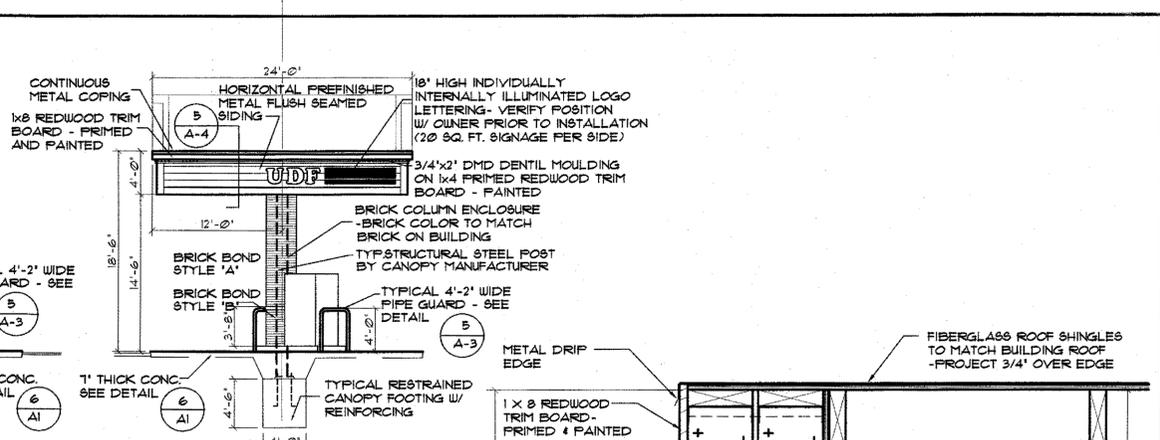
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JOB NO.	SHEET NO.
DRAWN BY	<b>A3</b>
CHECKED BY	
DATE	11.17.16
STORE NO.	613

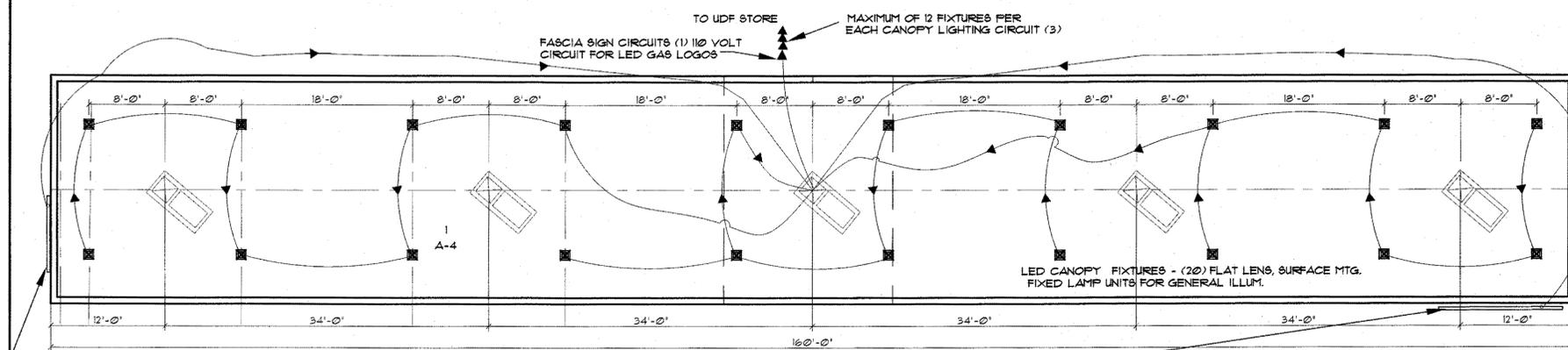




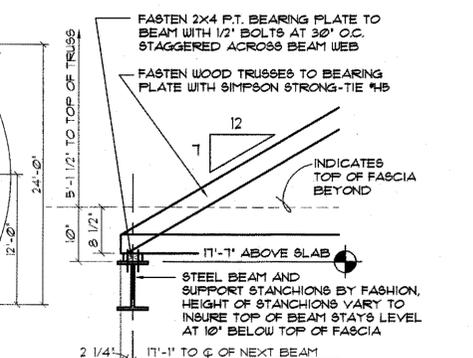
**ELEVATION**  
1/8" = 1'-0"  
GAS ISLAND CANOPY - FACING DUBLIN ROAD



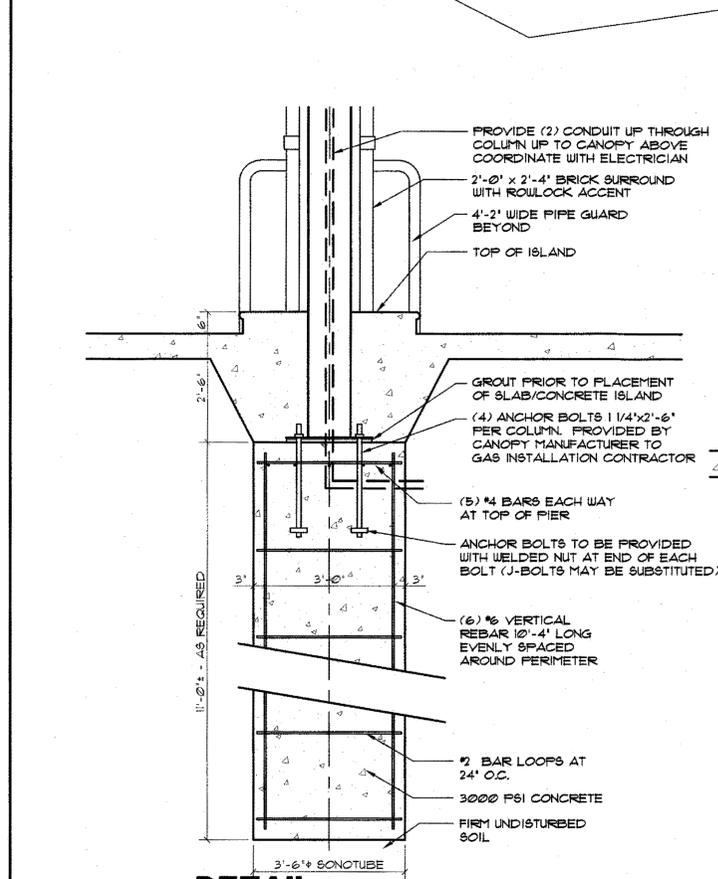
**ELEVATION**  
1/8" = 1'-0"  
GAS ISLAND CANOPY - SIDES  
FACING LINWORTH ROAD



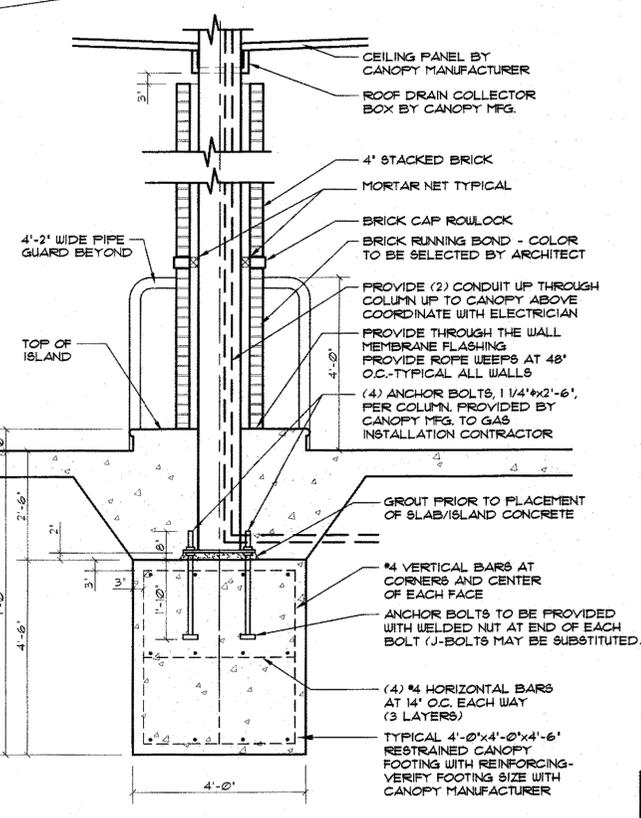
**CEILING PLAN**  
1/8" = 1'-0"  
GAS ISLAND CANOPY & DISPENSER



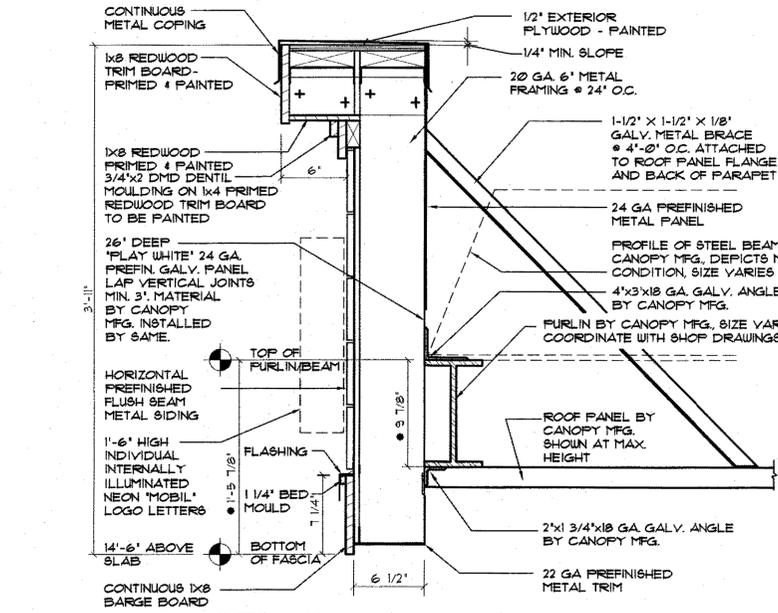
**DETAIL**  
3/4" = 1'-0"  
TYPICAL KNEE WALL SUPPORT



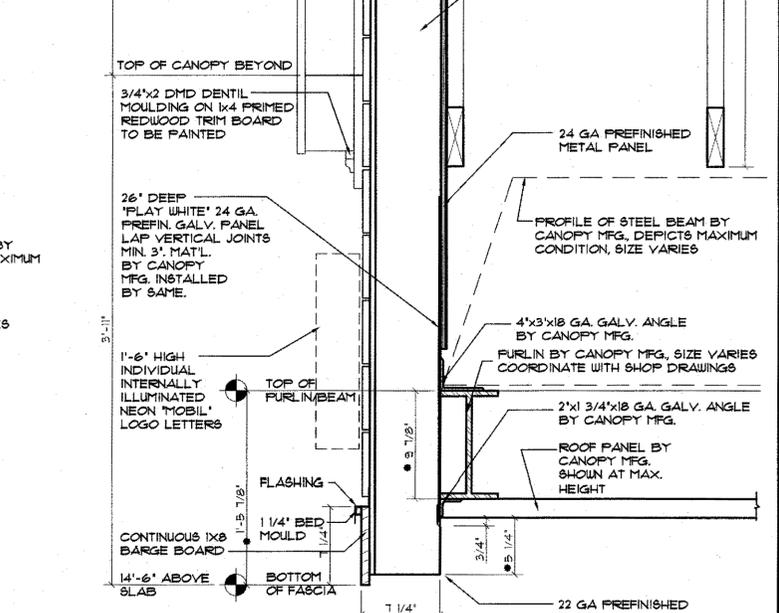
**DETAIL**  
1/2" = 1'-0"  
OPTIONAL GAS CANOPY FOOTING  
- WHEN SOIL CONDITION IS NOT  
ACCEPTABLE FOR STANDARD DETAIL



**DETAIL**  
1/2" = 1'-0"  
TYPICAL GAS CANOPY FOOTING  
NOTE: SEE CANOPY MANUFACTURER  
RECOMMENDED FOOTING DETAIL  
FOR SPECIFIC DIMENSIONS

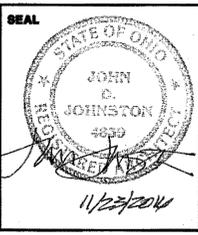


**DETAIL**  
1-1/2" = 1'-0"  
CANOPY SIDE SECTION  
NOTE: DIMENSIONS MARKED BY AN (\*) INDICATE DIMENSIONS THAT CHANGE AS  
SIZE OF FURLIN CHANGES. (DIMENSIONS SHOWN ARE BASED ON A 1/2" FURLIN)  
THE INSIDE DIMENSION FROM THE BOTTOM OF FASCIA TO BOTTOM OF ROOF  
PANELS IS 6 1/4" AT THE HIGH POINT OF THE FURLIN DOWN TO 3 1/4" AT THE LOW  
POINT AND THIS WILL REMAIN CONSTANT WITH ALL CANOPIES REGARDLESS OF  
FURLIN SIZE



**DETAIL**  
1-1/2" = 1'-0"  
CANOPY SIDE SECTION AT GABLE  
NOTE: DIMENSIONS MARKED BY AN (\*) INDICATE DIMENSIONS THAT CHANGE AS  
SIZE OF FURLIN CHANGES. (DIMENSIONS SHOWN ARE BASED ON A 1/2" FURLIN)  
THE INSIDE DIMENSION FROM THE BOTTOM OF FASCIA TO BOTTOM OF ROOF  
PANELS IS 6 1/4" AT THE HIGH POINT OF THE FURLIN DOWN TO 3 1/4" AT THE LOW  
POINT AND THIS WILL REMAIN CONSTANT WITH ALL CANOPIES REGARDLESS OF  
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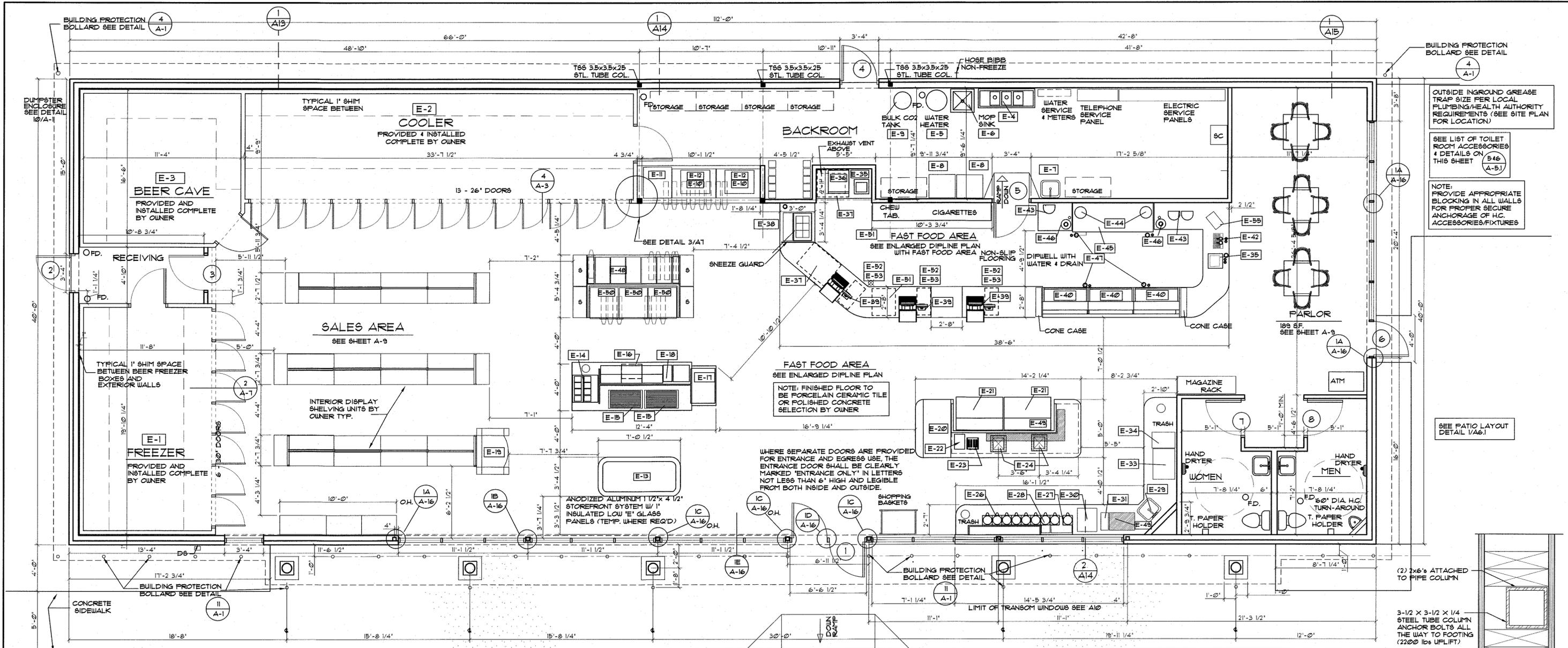


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CHECKED BY	<b>4</b>
DATE	STORE NO.
11.17.16	<b>613</b>





OUTSIDE INGROUND GREASE TRAP SIZE PER LOCAL PLUMBING/HEALTH AUTHORITY REQUIREMENTS (SEE SITE PLAN FOR LOCATION)

SEE LIST OF TOILET ROOM ACCESSORIES & DETAILS ON THIS SHEET (E-54, E-51)

NOTE: PROVIDE APPROPRIATE BLOCKING IN ALL WALLS FOR PROPER SECURE ANCHORAGE OF H.C. ACCESSORIES/FIXTURES

SEE PATIO LAYOUT DETAIL 1/A6

(2) 3x6's ATTACHED TO PIPE COLUMN

3-1/2 x 3-1/2 x 1/4 STEEL TUBE COLUMN ANCHOR BOLTS ALL THE WAY TO FOOTING (2200 lbs UPLIFT)

**EQUIPMENT SCHEDULE** NOTE: THIS IS A COMPLETE EQUIPMENT LIST, ALL EQUIP. LISTED IS NOT NECESSARILY USED IN ALL STORES.

ITEM	DESCRIPTION (REMARKS)	ITEM	DESCRIPTION (REMARKS)
E-1	WALK-IN FREEZER BOX WITH ARDCC DOORS	E-30	CAPPUCCINO DISPENSER
E-2	WALK-IN COOLER BOX WITH ARDCC DOORS	E-31	HOT WATER DISPENSER
E-3	WALK-IN BEER CAVE WITH ARDCC DOORS	E-32	HOT TEA DISPENSER
E-4	3 COMP SINK (# BACKROOM)	E-33	FOAMMASTER COFFEE UNIT
E-5	HOT WATER HEATER	E-34	ICE MAKER AND DISPENSER
E-6	MOP SINK	E-35	LAY-IN HAND SINK
E-7	WALL MTD. 66 HAND SINK	E-36	COUNTER TOP COMMERCIAL OVEN
E-8	UPRIGHT PIZZA FREEZER (2 UNITS)	E-37	UNDERCOUNTER REFRIGERATOR
E-9	CO2 CARBONATOR REMOTE FILL	E-38	REFR. SANDWICH CONDM. UNIT
E-10	FOUNTAIN DRINK MACHINE (2 UNITS)	E-39	CASH REGISTER ELEMENTS
E-11	FCB MACHINE 4 FLAVOR	E-40	4" DIP CABINET (3 EACH)
E-12	ICE MAKER (2 UNITS)	E-41	SODA FOUNTAIN
E-13	SANDWICH MERCHANDISER 8' UNIT	E-42	MALT MIXER (2 UNITS)
E-14	REF. SANDWICH TOPPING UNIT	E-43	HOT RIDGE FOTS (2 UNITS)
E-15	HOT DOG ROLLER (2 UNITS)	E-44	SUNDAEMALT FOUNTAINETTE
E-16	MICROWAVE	E-45	ROUND DIP WELLS W/8MTS FAUCET
E-17	UPRIGHT DISPLAY CASE	E-46	ICE CREAM CABINET DIP WELLS (3 UNITS)
E-18	NACHO UNIT	E-47	FROZEN DRINK (2PRODUCT) MACHINE
E-19	OPEN CASE 'COKE' COOLER	E-48	SPECIAL ITEM PLASTIC HOLDERS
E-20	BAKERY UNIT	E-49	SLUSHIE MACHINE 3 PRODUCT
E-21	COFFIN ICE CREAM DISPLAY (2 UNITS)	E-50	PRIMARY SAFE
E-22	BAGEL CASE	E-51	SECONDARY SAFE
E-23	BAGEL TOASTER	E-52	MONEY DRAWER
E-24	COFFEE CONDIT REFRIGERATED WELLS	E-53	DIGITAL MENU BOARDS
E-25	HOT DOG BUN WARMER (2 UNITS)	E-54	PLASTIC BACK COUNTER CONE CASE
E-26	COFFEE SERVER (3 UNITS)	E-55	
E-27	COFFEE BREWER DOUBLE UNIT		
E-28	COFFEE BREWER SINGLE UNIT		
E-29	DUMP SINK		

**TOILET ROOM ACCESSORIES**

MIRROR: 24" W x 36" H WITH STAINLESS STEEL FRAME AS MANUFACTURED BY AMERICAN DISPENSER CO. (2 REQUIRED)

TOILET TISSUE DISPENSER: MOLNLYCKE METAL T-BOX TISSUE DISPENSER (2 REQUIRED) MOUNTING HGT AS SHOWN IN GRAB BAR DETAIL

SOAP DISPENSER: 58 LKIVIDURN LIQUID DISPENSER 20 GA. STAINLESS STEEL; SURFACE MOUNTED AS MANUFACTURED BY AMERICAN DISPENSER CO. (2 REQUIRED) MOUNTING HGT. TO BE NO GREATER THAN 48" AFF.

HAND DRYER: 865 #50 ALUMINUM, SURFACE MOUNTED ELECTRIC SERVICE 15V, 20 AMP, 2640 WATTS, AS MANUFACTURED BY SUPREME ENVIRONMENTAL SYSTEMS (2 REQUIRED) MOUNTING HGT. TO BE NO GREATER THAN 48" AFF.

COAT HOOK: #21 SINGLE ROBE HOOK, STAINLESS STEEL AS MANUFACTURED BY AMERICAN DISPENSER CO. (2 REQUIRED)

GRAB BARS: E-6206 x 36" (2 REQUIRED); E-6206 x 42" (2 REQUIRED); #34 AFF. 4 E-6206 x 18" REQUIRED (2 REQUIRED) AS SHOWN BY BOBRICK WASHROOM EQUIPMENT INC.

SIGNAGE: SIGNS ON DOORS IDENTIFYING MEN'S & WOMEN'S RESTROOMS SHALL BE HIGH CONTRAST, NON-GLARE SIGNS, MIN. CHARACTER HGT. TO BE 3". SIGNS TO BE MOUNTED ON DOORS WITH CENTERLINE AT 60" AFF.

**FLOOR PLAN** 1/4" = 1'-0"

NOTE: ALL INTERIOR PARTITIONS TO BE 3/8" UNLESS NOTED DIFFERENTLY: WOOD OR METAL STUDS AT 16" O.C. WITH 1/2" DRYWALL BOTH SIDES. NO INTERIOR PARTITIONS ARE BEARING WALLS. PROVIDE FIRESTOPPING @ TOP OF WALLS. FINISHES TO COMPLY WITH CLASS III FLAME SPREAD RATING & SMOKE DEVELOPED RATING LESS THAN 450.

TYPICAL EXTERIOR WALL: 2x4 WOOD STUDS AT 16" O.C. WITH R-19 FIBERGLASS BATT INSULATION AND WITH 1/2" DRYWALL FACE AND 1/2" PLYWOOD SHEATHING, BRICK VENEER WITH GALV. CORR. 1x24 GA. WALL TIES AT MAX. 16" O.C. VERTICALLY AND HORIZONTALLY. PROVIDE FIRESTOPPING @ CEILING LINE. FINISHES TO COMPLY WITH CLASS III FLAME SPREAD RATING & SMOKE DEVELOPED RATING LESS THAN 450.

NOTE: ALL DIMENSIONS SHOWN ARE TO ROUGH STUD OR FACE OF FOUNDATION WALL.

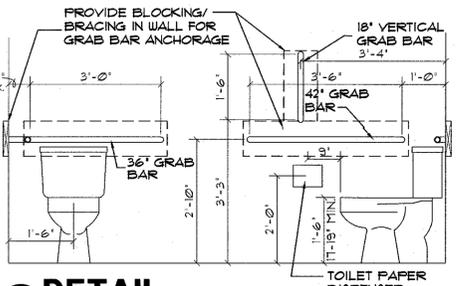
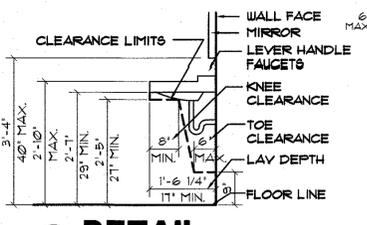
NOTE: PROVIDE CERAMIC TILE BASE IN ALL PUBLIC AREAS. PROVIDE 4" VINYL COVE BASE IN STORAGE ROOM AND BACKROOM.

NOTE: PROVIDE TEMPERED GLASS (T.G.) WHERE INDICATED. ALL OTHER STOREFRONT GLASS COMPLIES WITH OBC SECTION 2405.2.1 FOR SAFETY GLAZING.

NOTE: PROVIDE CERAMIC TILE ON ALL TOILET ROOM WALLS FROM TOP OF DOOR JAMB TO CERAMIC COVE BASE AT FLOOR.

NOTE: PROVIDE CERAMIC TILE BASE IN ALL PUBLIC AREAS. PROVIDE 4" VINYL COVE BASE IN STORAGE ROOM AND BACKROOM.

NOTE: UDF TO MAKE DRINKING WATER AVAILABLE TO CUSTOMERS THRU THE SODA FOUNTAINS IN LIEU OF DRINKING FOUNTAINS.



**REVISIONS**

NO.	DATE	DESCRIPTION
1	11-23-2016	ARCH. REVIEW BOARD UPDATE



A CONVENIENCE STORE FOR  
**UNITED DAIRY FARMERS**  
2204 WEST DUBLIN GRANVILLE ROAD  
COLUMBUS, OHIO 43085

**JOHN D. JOHNSTON ARCHITECTS**  
3955 MONTGOMERY ROAD  
CINCINNATI, OHIO 45212 513-396-8743

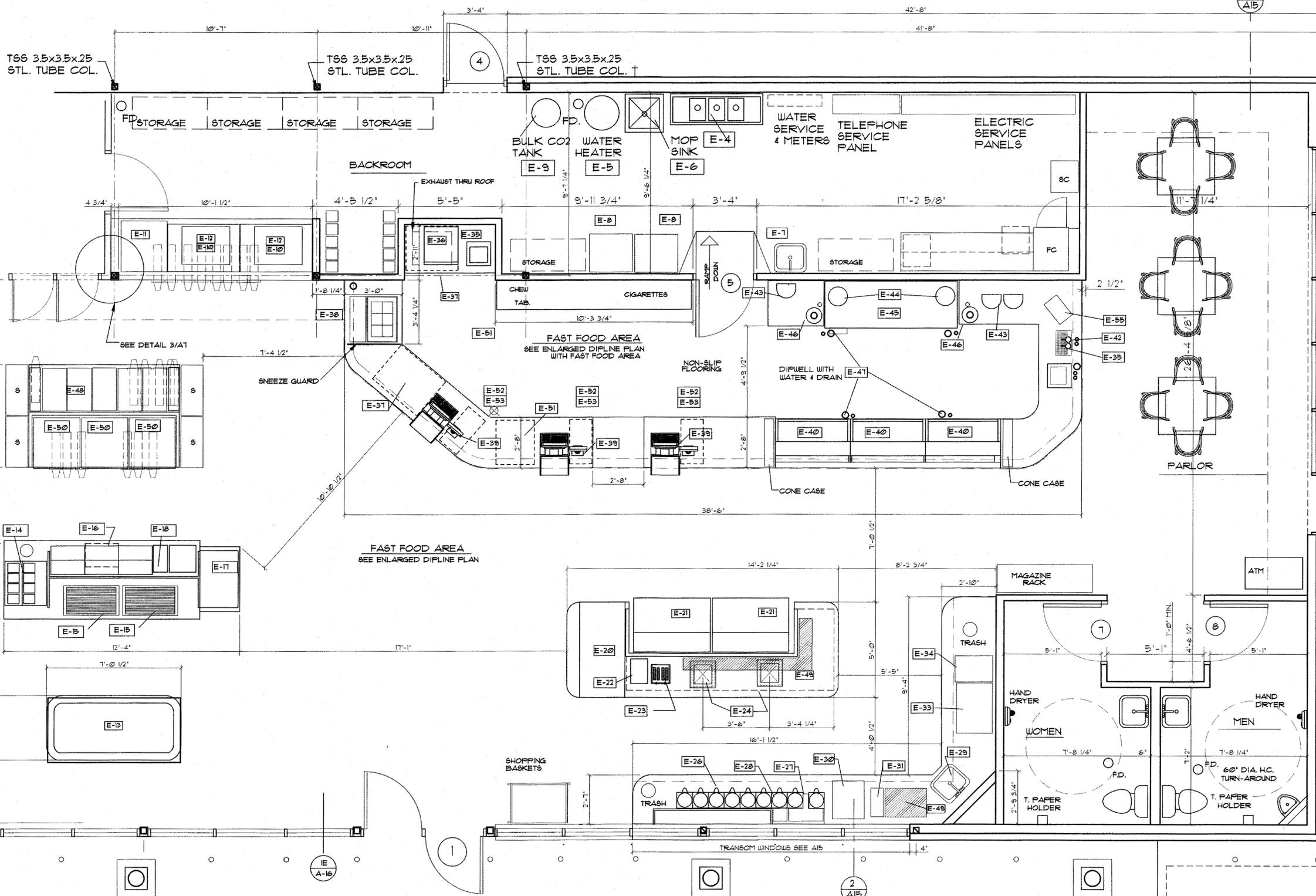
JOB NO.	SHEET NO.
DRAWN BY	<b>A7</b>
CHECKED BY	
DATE	STORE NO.
11.17.16	<b>613</b>

**EQUIPMENT SCHEDULE**

NOTE: THIS IS A COMPLETE EQUIPMENT LIST. ALL EQUIP. LISTED IS NOT NECESSARILY USED IN ALL STORES.

ITEM	DESCRIPTION (REMARKS)	MFG. / MODEL (REMARKS)	ELECTRICAL REQUIRE
E-1	WALK-IN FREEZER BOX WITH ARCO DOORS	LOUISVILLE (22 GA. GALV. PANELS WITH 4" URETHANE FOAM - 75 F8 RATING)	20 AMP, 30, 240 V. 20 AMP, 10, 120 V.
E-2	WALK-IN COOLER BOX WITH ARCO DOORS	LOUISVILLE (22 GA. GALV. PANELS WITH 4" URETHANE FOAM - 75 F8 RATING)	40 AMP, 30, 240 V. 20 AMP, 10, 120 V.
E-3	WALK-IN BEER CAVE WITH ARCO DOORS	LOUISVILLE (22 GA. GALV. PANELS WITH 4" URETHANE FOAM - 75 F8 RATING)	40 AMP, 30, 240 V. 20 AMP, 10, 120 V.
E-4	3 COMP SINK (# BACKROOM)	ARTEKO / C-3-1618-D	(2) 20 AMP, 10, 120 V.
E-5	HOT WATER HEATER	RHEEM 40 GAL.	(2) 20 AMP, 10, 120 V.
E-6	MOP SINK	MUSTEE	
E-7	WALL MTD. 86 HAND SINK	AMERICAN STANDARD	
E-8	UPRIGHT PIZZA FREEZER (2 UNITS)	CONTINENTAL F.	20 AMP, 10, 120 V.
E-9	CO2 CARBONATOR REMOTE FILL	CARBO SERIES 3000 BY CHART	20 AMP, 10, 120 V.
E-10	FOUNTAIN DRINK MACHINE (2 UNITS)	CORNELIUS / ENDURO 3000	20 AMP, 10, 120 V.
E-11	PCB MACHINE 4 FLAVOR	TAYLOR/CROWN C34	30 AMP, 10, 240 V.
E-12	ICE MAKER (2 UNITS)	SCOTSMAN N0622A-32 AC	20 AMP, 10, 120 V.
E-13	SANDWICH MERCHANDISER 8' UNIT	FEDERAL I88848C-3	30 AMP, 10, 240 V.
E-14	REF. SANDWICH TOPPING UNIT	APW UYOTT RTR-8	20 AMP, 10, 120 V.
E-15	HOT DOG ROLLER (2 UNITS)	APW UYOTT X-FERT HRS-50	20 AMP, 10, 120 V.
E-16	MICROWAVE	SHARP R-21 LCP1	20 AMP, 120 V.
E-17	UPRIGHT DISPLAY CASE HOT ITEMS	HATCO GLO-RAY GRD808-36T BLK	20 AMP, 10, 120 V.
E-18	NACHO UNIT	SHERIFF BLADLOCK	20 AMP, 10, 120 V.
E-19	OPEN CASE 'COKE' COOLER	BEVERAGE-AIR / B216	20 AMP, 10, 120 V.
E-20	BAKERY UNIT	SPECIALTY FIXTURES 98310-1	20 AMP, 10, 120 V.
E-21	COFFIN ICE CREAM DISPLAY (2 UNITS)	UNIVERSAL NOLNHLH-12	20 AMP, 10, 120 V.
E-22	BAGEL CASE		20 AMP, 10, 120 V.
E-23	BAGEL TOASTER	TOASTMASTER '85T09	20 AMP, 10, 120 V.
E-24	COFFEE COND. REFRIGERATED WELL	APW COLD WELL RT-4D1	20 AMP, 10, 120 V.
E-25	HOT DOG BUN WARMER (2 UNITS)	APW UYOTT X-FERT HRS-50BW	20 AMP, 10, 120 V.
E-26	COFFEE SERVER (3 UNITS)	BUNN 1 GAL. 42100/2091	
E-27	COFFEE BREWER DOUBLE UNIT	BUNN ICB-DBC-TWIN	20 AMP, 10, 120 V.
E-28	COFFEE BREWER SINGLE UNIT	BUNN ICB-DV	20 AMP, 10, 120 V.
E-29	DUMP SINK	ADVANCE TABCO DI-1-35	
E-30	CAFFUCCINO DISPENSER	BUNN ICB-95+	20 AMP, 10, 120 V.
E-31	HOT WATER DISPENSER	BUNN HSE ELEMENT 55T	20 AMP, 10, 120 V.
E-32	HOT TEA DISPENSER (2 EACH)	BUNN ITB-DBC DUAL	20 AMP, 10, 120 V.
E-33	FOAMMASTER COFFEE UNIT	FRANKE A F1600	30 AMP, 10, 240 V.
E-34	ICE MAKER AND DISPENSER	MANTONOC TCI00A-NUNF-6T-00	20 AMP, 10, 120 V.
E-35	LAY-N HAND SINK	ADVANCE TABCO DI-1-25	
E-36	COUNTER TOP COMMERCIAL OVEN	AMANA AXF22	30 AMP, 10, 240 V.
E-37	UNDERCTR. REFRIGERATOR (2 UNITS)	CONTINENTAL UC36	20 AMP, 10, 120 V.
E-38	REFR. SANDWICH COND. UNIT	APW COLD WELL CU-1	20 AMP, 10, 120 V.
E-39	CASH REGISTER ELEMENTS		
E-40	4' DIP CABINET (3 EACH)	NELSON 8DIP-HV	20 AMP, 10, 120 V.
E-41	NOT USED		
E-42	SODA FOUNTAIN	CHUDNOW	
E-43	MALT MIXER (2 UNITS)	HAMILTON BEACH HMD-400	20 AMP, 10, 120 V.
E-44	HOT FUDGE POTS (2 UNITS)	STAR 4RW-L	20 AMP, 10, 240 V.
E-45	SUNDAE/MALT FOUNTAINETTE	NELSON 8DPR-12	20 AMP, 10, 120 V.
E-46	ROUND DIP WELL WITH 8HTG. FAUCET		
E-47	ICE CREAM CABINET DIP WELLS (3 EA)	L0LSBERG026-004-DN	
E-48	FROZEN DRINK (2 PRODUCT) MACHINE	ITI	
E-49	SPECIAL ITEM PLASTIC HOLDERS	PROVIDED, PLACED BY UDF	
E-50	SLUSHIE MACHINE - 3 PRODUCT	TAYLOR CROWN C303	30 AMP, 10, 240 V.
E-51	PRIMARY SAFE	PROVIDED, PLACED BY UDF	(1) 20 AMP, 1120V
E-52	SECONDARY SAFE	PROVIDED, PLACED BY UDF	(1) 20 AMP, 1120V
E-53	MONEY DRAWER	PROVIDED, PLACED BY UDF	(1) 20 AMP, 1120V
E-54	DIGITAL MENU BOARD	PROVIDED, PLACED BY UDF	20 AMP, 1120V
E-55	BACK COUNTER CONE CASE	PROVIDED, PLACED BY UDF	
E-56	DIP LINE CONE CASE	PROVIDED, PLACED BY UDF	
E-57	MONEY ORDER MACHINE	PROVIDED, PLACED BY UDF	(1) 20 AMP, 1120V
E-58	GAS CONSOLE CONTROLLER	PROVIDED, PLACED BY UDF	(1) 20 AMP, 1120V

STANDARD STORE MENU: HEALTH DEPARTMENT INFORMATION  
 GRILLED HOT DOGS: SELF SERVE/MICROWAVE  
 PRE-PACKAGED SANDWICHES: SELF SERVE/MICROWAVE  
 EMPLOYEE ASSISTED - OVEN TOASTED  
 ICE CREAM: HAND DIPPED BY EMPLOYEES



**ENLARGED DIP LINE**

INCLUDING FAST FOOD AREA  
 NOTES:  
 ALL INTERIOR PARTITIONS TO BE 3 5/8" WOOD OR METAL STUDS UNLESS NOTED DIFFERENTLY.  
 DIMENSIONS SHOWN ARE TO ROUGH STUD UNLESS NOTED DIFFERENTLY.

PROVIDE 10" ABC FIRE EXTINGUISHER AND HANGER \* 441-UL4A 60 BC RATING (3) REQUIRED IN STORE, (1) REQUIRED AT GAS ISLAND, DESIGNATED BY ⊕

**HEALTH DEPARTMENT INFORMATION**

- ALL CABINET WORK IN THE STORE IS CUSTOM MADE FORMICA, AND ALL CRACKS AND CREVICES WILL BE SEALED WITH SILICONE.
- THE EQUIPMENT IN THE STORES IS N. S. F. APPROVED. MODEL NUMBERS OF THE EQUIPMENT ARE LISTED ON THE PLANS.
- ALL FLOORS IN THE STORE ARE CERAMIC TILE, FLAME SPREAD RATING SHALL EXCEED REQUIREMENTS OF LOCAL CODES. THE CEILING IS ARMSTRONG AR-115 TILE, EXCEPT IN THE BACK ROOM AND OVER FOOD AREAS WHERE THEY ARE 1/2" VINYL COVERED SHEETROCK. THE WALLS IN THE SALES AREA ARE VINYL COVERED.

- THE ONLY FOOD ITEM TO BE COOKED IN THE STORE ARE HOT DOGS, OTHER ITEMS CARRIED INCLUDE PACKAGED ICE CREAMS, HAND DIPPED ICE CREAM, MALTS, SUNDAES, AND SODAS. THE PRE-PACKAGED SANDWICHES ARE FROM THE UDF COMMISSARY. SOME OF THE OTHER STORE ITEMS INCLUDE CANNED GOODS, BREAD, CHIPS, AND SNACKS, AND VARIOUS GROCERY (STAPLE) ITEMS. COFFEE, JUICES, FOUNTAIN DRINKS, AND ICE WILL BE AVAILABLE AT OUR FAST-FOOD AREA.
- CEILING PANELS DIRECTLY ABOVE ALL FOOD SERVICE/STORAGE/PREPARATION AREAS ARE VINYL COVERED SHEETROCK BY U.S. GYPSUM CORP. OR EQUAL.
- LIGHT FIXTURES DIRECTLY ABOVE ALL FOOD SERVICE/STORAGE/PREPARATION AREAS ARE ALL PROVIDED WITH PLASTIC LENSES OR COVERS TO PROTECT LAMPS FROM DIRECT IMPACT AND BREAKAGE.

**DIP LINE NOTES**

- SEE FLOOR PLAN FOR ADDITIONAL EQUIPMENT AND CABINETS LOCATED OUTSIDE OF THE DIPLINE
- DIMENSIONS MAY VARY - FIELD VERIFY BEFORE BUILDING CABINETS
- ALL EQUIPMENT AND PLASTIC LAMINATE WORK SHALL BE FURNISHED AND INSTALLED BY THE OWNER
- ALL JOINTS, CRACKS, AND CREVICES BETWEEN EQUIPMENT, CABINETS, WALLS, ETC. TO BE SEALED WITH A CLEAR SILICONE SEALANT

REVISIONS		
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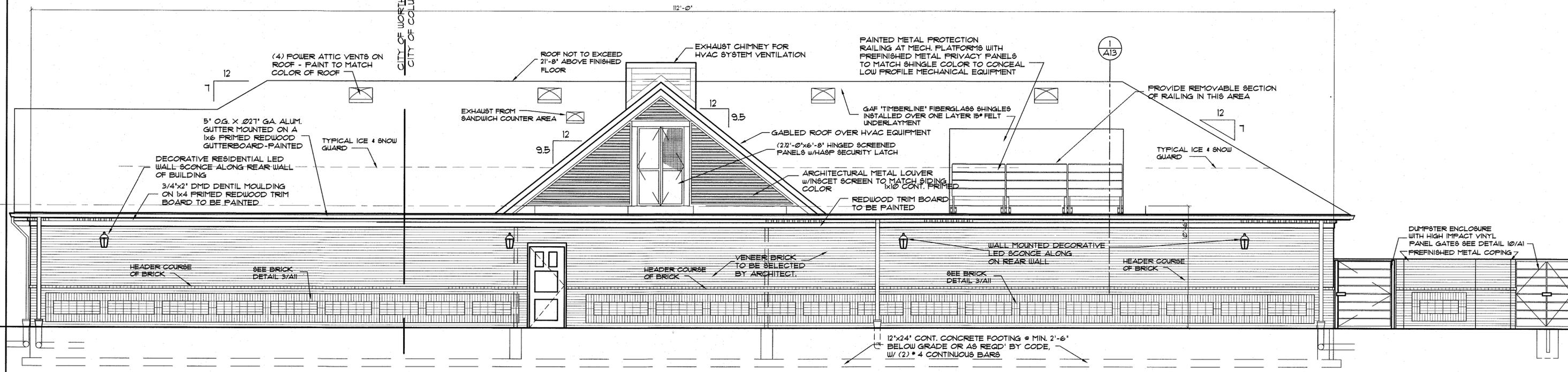
A CONVENIENCE STORE FOR  
**UNITED DAIRY FARMERS**  
 2204 WEST DUBLIN GRANVILLE ROAD  
 COLUMBUS, OHIO 43085

**JOHN D. JOHNSTON ARCHITECTS**  
 3955 MONTGOMERY ROAD  
 CINCINNATI, OHIO 45212 513-396-8743

JOB NO. \_\_\_\_\_ SHEET NO. **A9**  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 DATE **11.17.16** STORE NO. **613**

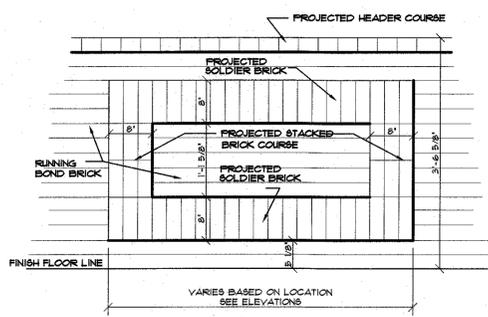


CITY OF WORTHINGTON  
CITY OF COLUMBUS



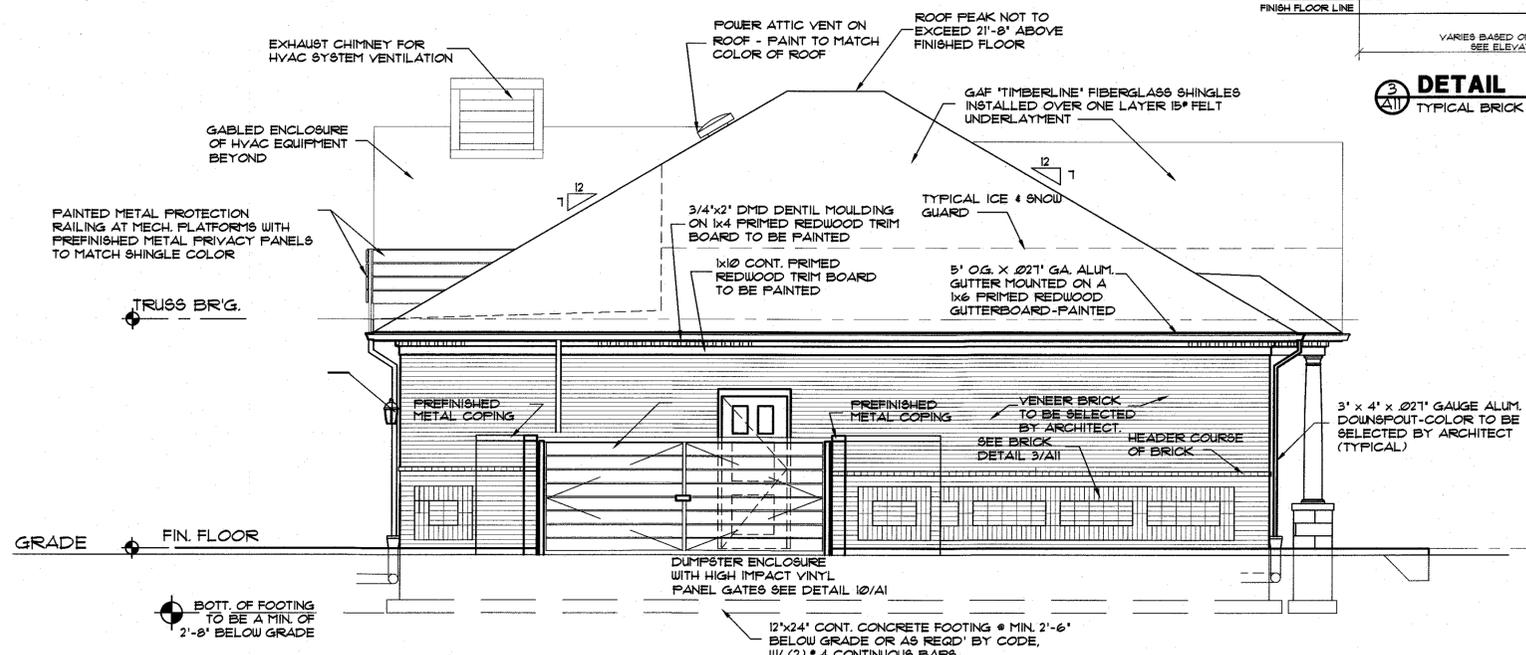
**ELEVATION**  
REAR OF STORE  
1/4" = 1'-0"

**NOTE:**  
ALL ROOF SHEATHING TO BE RADIANT BARRIER TYPE 4x8x15/32 w/FOIL FACE BACKING PLACE FOIL DOWN & INSTALL PER MANUFACTURER'S LATEST WRITTEN GUIDELINES



**DETAIL**  
TYPICAL BRICK PATTERN  
1" = 1'-0"

**NOTE:**  
CARPENTRY CONTRACTOR SHALL COORDINATE FINAL SIZE OF GUTTER BOARD WITH SIZE OF TRUSS CHORD MEMBERS TO INSURE COMPLETE CLOSURE AT EAVE FROM SOFFIT TO BOTTOM OF ROOF SHEATHING.



**ELEVATION**  
SIDE FACING LINWORTH ROAD  
1/4" = 1'-0"

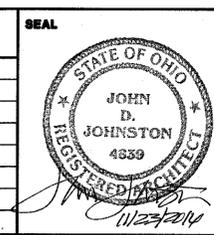
**ELEVATION NOTES**

- ALL PAINTED TRIM TO BE PRIMED REDWOOD OF THE SIZES INDICATED ON THE DRAWINGS. FINISH COLOR IS TO BE SELECTED BY THE ARCHITECT.
- ALL STOREFRONT GLAZING IS TO BE 1" INSULATED LOW 'E' GLASS. ALL GLASS SHALL BE CLEAR EXCEPT AS FOLLOWS:  
ALL GLASS FACING SOUTH OR WEST SHALL BE TINTED - COLOR TO BE SELECTED AND VERIFIED BY THE OWNER & ARCHITECT. TEMPER ALL GLASS WHERE REQUIRED BY THE CODE AND WHERE SHOWN ON THE DRAWINGS.
- ALL STOREFRONT MATERIAL TO BE 1-3/4 x 4 1/2 ANODIZED FINISH AS MANUFACTURED BY KAWNEER OR HOWMET CORP. FINISH TO BE SELECTED BY THE ARCHITECT.
- ALL FACE BRICK SHALL BE STANDARD SIZE BRICK LAID IN COMMON RUNNING BOND WITH TOOLED JOINTS UNLESS NOTED DIFFERENTLY ON THE DRAWINGS. BRICK SHALL BE SELECTED BY THE ARCHITECT.
- ROOF TO BE TEXTURED FIBERGLASS SHINGLE ROOF - GAF 'TIMBERLINE' OR APPROVED EQUAL. COLOR TO BE SELECTED BY ARCHITECT.
- METAL TRIM TO BE

**MATERIALS AND COLORS**

- BRICK VENEER**  
GLEN GARY 'BELLE GLADE' MODULAR SIZE, RED BRICK
- COLUMNS**  
FIBERGLASS UNITS TO BE DETAILED IN PAINT AND GUTTER COLORS
- STOREFRONT SYSTEM**  
VISTAWALL, BRONZE ANODIZED ALUMINUM WITH 1" INSULATED GLASS PANELS
- ROOF SHINGLES**  
GAF 'TIMBERLINE WEATHERED WOOD' ARCHITECTURAL DIMENSIONAL SHINGLE
- GUTTERS AND DOWNSPOUTS**  
JOEL CORNELIUS PREFINISHED METAL, DARK BRONZE COLOR
- GABLE AND SOFFIT TRIM (2 COLORS)**  
DARK ACCENT ICI NO. 595 STONE GRAY  
LIGHT ACCENT ICI NO. 418 ROMA HAZE
- VENTILATION/MECHANICAL CONCEALMENT LOUVERS**  
ELEMENTS TO MATCH DRYVIT BASE COLOR NO. 132 MOUNTAIN FOG
- ROOF ELEMENTS AND PENETRATIONS**  
ELEMENTS TO CLOSELY MATCH COLOR OF ASPHALT SHINGLES
- METAL DOORS AND FRAMES**  
PAINTED TO MATCH BRICK VENEER
- LIGHT POLES AND FIXTURES**  
PREFINISHED METAL, COLOR TO BE DARK BRONZE
- BOLLARDS (EXPOSED TO VIEW)**  
PREFINISHED METAL, COLOR TO BE DARK BRONZE
- METAL SIDING TO BE**  
DUMPSTER GATES TO BE

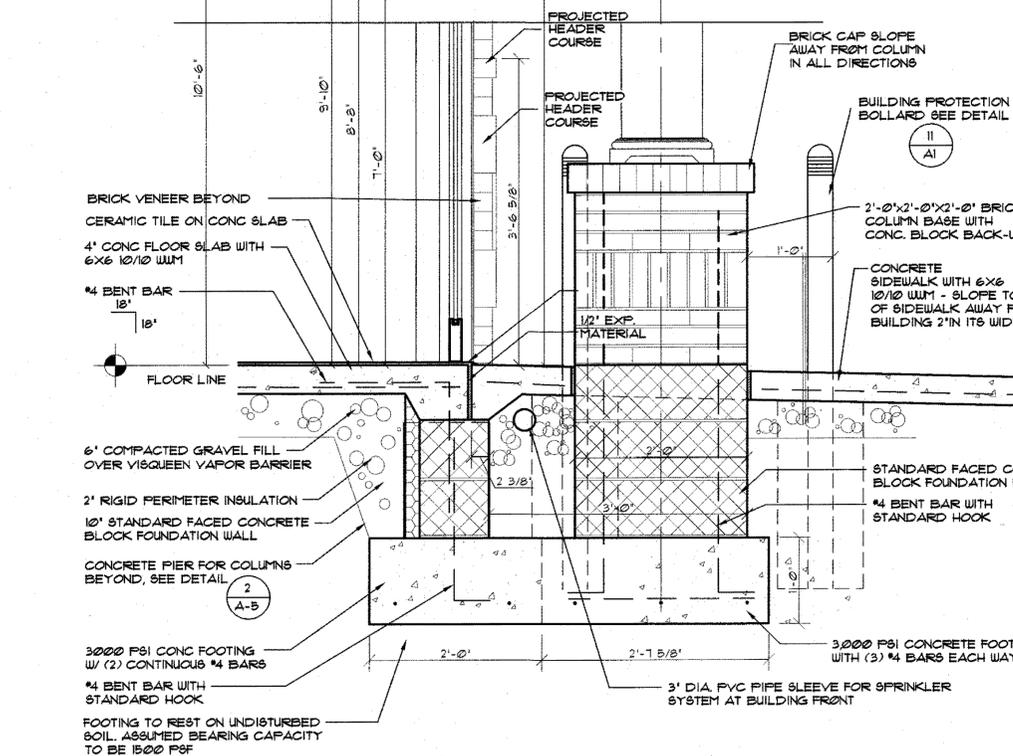
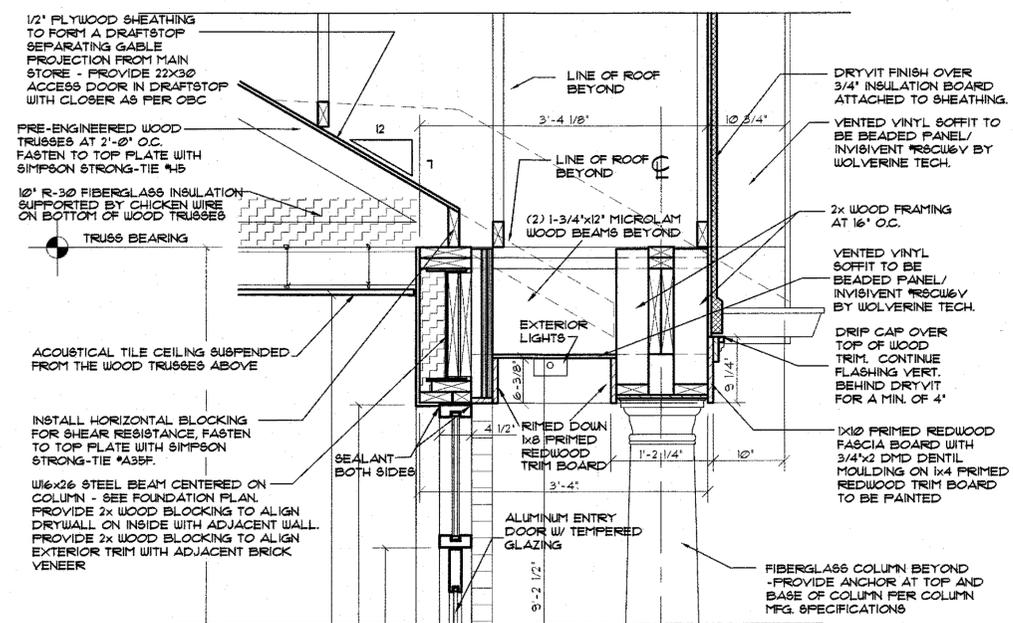
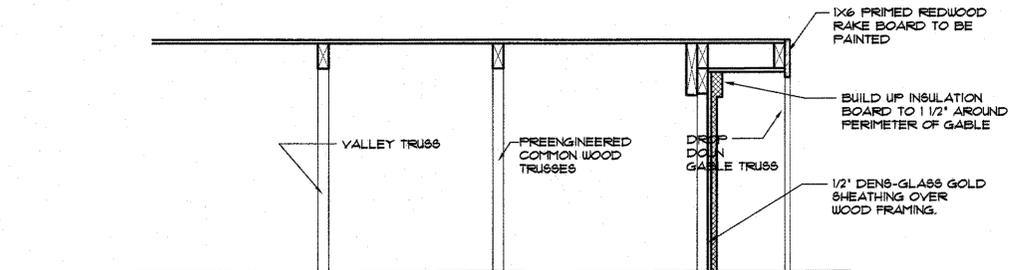
REVISIONS		
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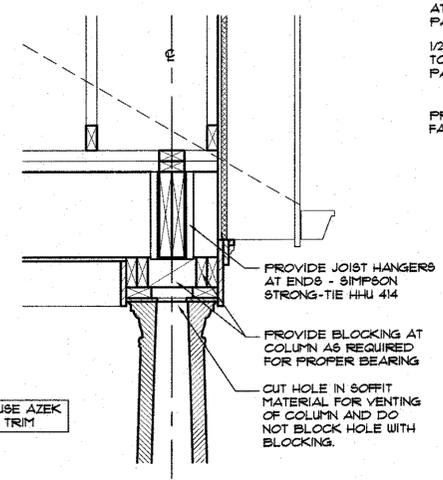
**JOHN D. JOHNSTON ARCHITECTS**  
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<b>JOB NO.</b>	<b>SHEET NO.</b>
<b>DRAWN BY</b>	<b>A</b>
<b>CHECKED BY</b>	<b>11</b>
<b>DATE</b>	<b>STORE NO.</b>
11.17.16	613



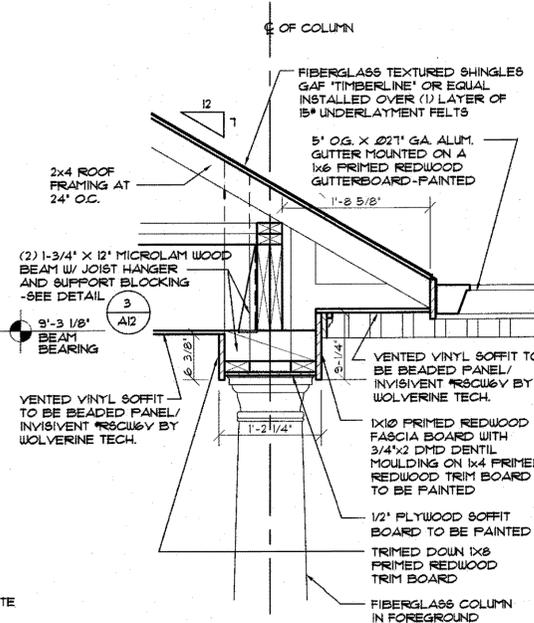
**SECTION**  
1  
A-12 AT FRONT ENTRY DOOR 1"=1'-0"

NOTE: CARPENTRY CONTRACTOR SHALL COORDINATE FINAL SIZE OF GUTTER BOARD WITH SIZE OF TRUSS CORD MEMBERS TO INSURE COMPLETE CLOSURE AT EAVE FROM SOFFIT TO BOTTOM OF ROOF SHEATHING.

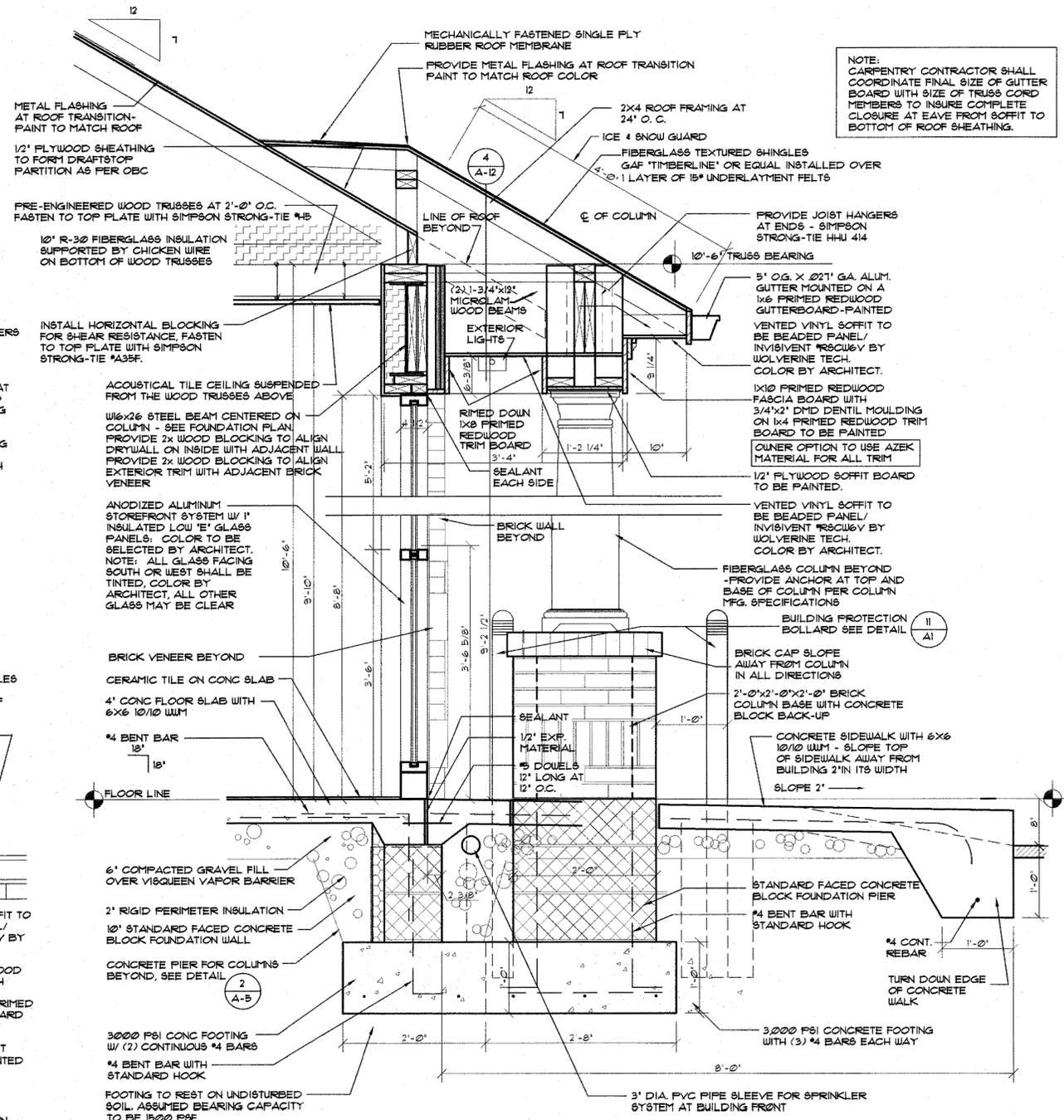


**SECTION**  
3  
A-12 COLUMN BEARING 1"=1'-0"

OWNER OPTION TO USE AZEK MATERIAL FOR ALL TRIM



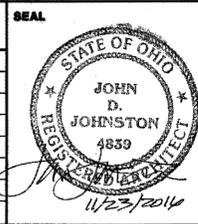
**SECTION**  
4  
A-12 END CONDITION AT FRONT ENTRY GABLE 1"=1'-0"



**SECTION**  
2  
A-12 AT STOREFRONT SYSTEM 1"=1'-0"

NOTE: ALL SHINGLED ROOF SHEATHING TO BE RADIANT BARRIER TYPE 4'x8'x15/32 WITH FOIL FACE BACKING. FOIL TO FACE DOWN AND BE INSTALLED PER MANUFACTURER'S LATEST WRITTEN GUIDELINES.

REVISIONS		
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JOB NO.	SHEET NO.
DRAWN BY	<b>A</b>
CHECKED BY	<b>12</b>
DATE	STORE NO.
11.17.16	613

**EQUIPMENT SCHEDULE**

UNIT	MFG.	MODEL #	SUPPLY	RETURN	O.A.	EXHAUST	RPM	BTU INKW	H.P.	S.P.	ELEC.	HOOP	NOTES
RTU-1	AAZN	RN0960CA20142	4,420	3,540	860	NA	1760	N/A	2	1"	200/60/3	30	1,3,4,6,7,9,10
EF-1	BRQAN	684	NA	NA	NA	10	NA	N/A	NA	NA	15/6/0/1	B	4
EF-2	BRQAN	686	NA	NA	NA	140	NA	N/A	NA	NA	15/6/0/1	B	4
EF-3	PENBARNEY	2105-TDA	NA	NA	NA	350	1050	N/A	1/4	25	15/6/0/1	B	4,3
EF-4	PENBARNEY	224-TDA	NA	NA	NA	300	1050	N/A	1/4	25	15/6/0/1	B	4

- NOTES:  
 1. WITH CURB.  
 2. WITH EMERGENCY LIGHT.  
 3. WITH THERMOSTAT.  
 4. ELECTRIC BY OTHERS, VERIFY VOLTAGE WITH ELECTRICIAN.  
 5. GAS PIPING INCLUDED.  
 6. WITH REMOVABLE FILTER.  
 7. WITH OUTSIDE AIR HOOD CONTROL & ARE ANALOG.  
 8. ACCESS FROM ROOF.  
 9. SMOKE DETECTOR.  
 10. STRUCTURAL ENGINEERED DUG.  
 11. WITH CONCENTRIC VENT UP THROUGH ROOF.

GENERAL EQUIPMENT NOTES:  
 ROOFTOP UNIT IS EQUIPPED WITH OUTDOOR AIR ECONOMIZER. SET ECONOMIZER AT A MIN. OF 86°F. ROOFTOP SUPPLY AIR IS MADE UP OF RETURN AIR AND OUTSIDE AIR TAKEN THRU ECONOMIZER. ALL SUPPLY AIR SHALL BE FILTERED AT UNITS WITH MANUFACTURER'S STANDARD FILTERS. ECONOMIZER SHALL BE CONTROLLED BY THE ROOFTOP UNIT ENTHALPHY CONTROL. ECONOMIZER DAMPERS SHALL CLOSE WHEN UNIT IS DE-ENERGIZED. ROOF TOP HVAC SHALL BE A HEATING/COOLING THERMOSTAT WITH AUTO AND MANUAL SETTINGS. THERMOSTAT SHALL BE UL LISTED & SUPPLIED BY UNIT MANUFACTURER. EQUAL BY HONEYWELL OR BARBER COLMAN ARE ACCEPTABLE. MIN. SETTINGS ARE 55° F FOR HEATING AND 65° F FOR COOLING.

**COMPONENT ENVELOPE CRITERIA**

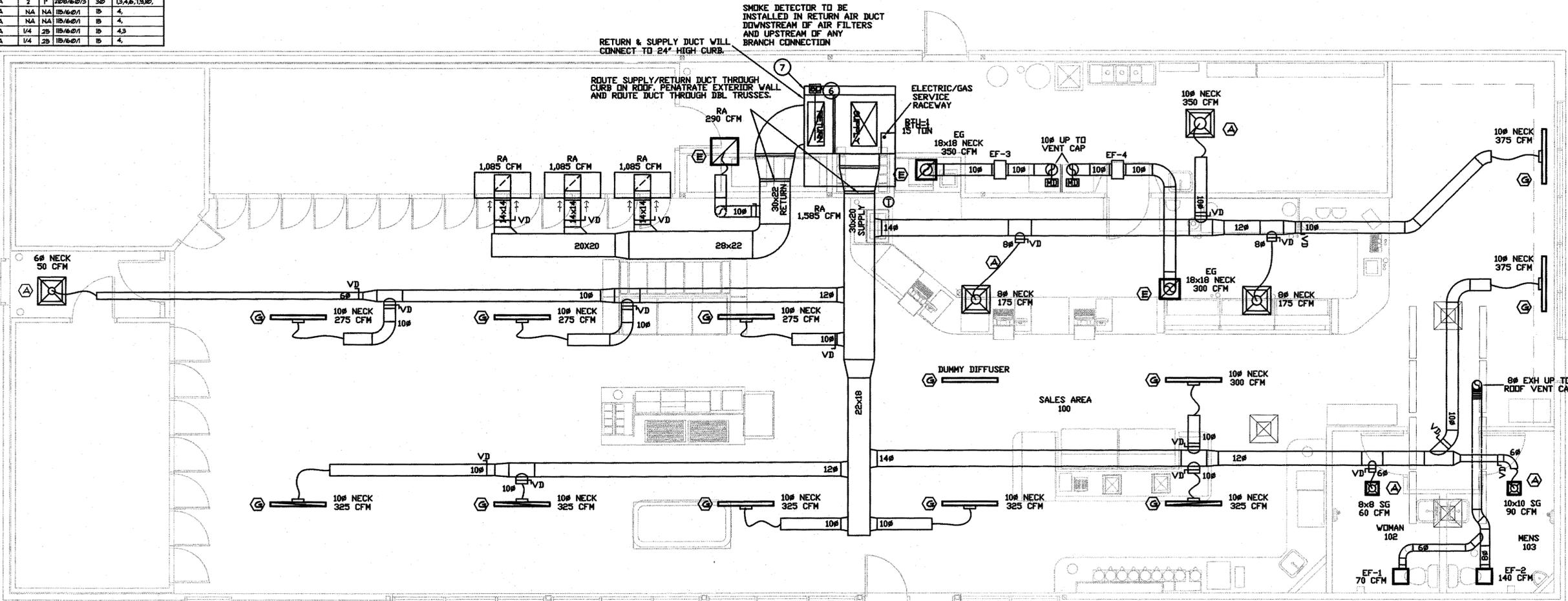
COMPONENT	TYPE 1		TYPE 2	
	BRICK VENEER/ WOOD FRAME	BRICK VENEER/ BLOCK BACK-UP	BRICK VENEER/ WOOD FRAME	BRICK VENEER/ BLOCK BACK-UP
WALLS	OUTSIDE AIR FILM	0.17	0.17	0.17
	BRICK 4"	0.33	0.33	0.33
	CONCRETE BLOCK 4"	0.45	0.45	0.45
	1/2" GYPSUM SHEATHING	0.05	0.05	0.05
	6" R-15 FIBERGLASS INSULATION	15.0	15.0	15.0
ROOFS	1 1/2" THERMAX 6000 SERIES RIGID INSULATION	0.45	0.45	0.45
	1/2" DRIFTAL	0.60	0.60	0.60
	INSIDE AIR FILM	0.61	0.61	0.61
	R-214	U=0.246	R-214	U=0.246
	U=0.246	U=0.246	R-211	U=0.241
OTHERS	1" INSULATION GLASS	0.17	0.17	0.17
	DOORS	0.26	0.26	0.26
	FERRITER SLAB INSL.	0.41	0.41	0.41
	2" STYROFOAM 60"	0.61	0.61	0.61
	R-3414	U=0.232	R-211	U=0.241

**DIFFUSER SCHEDULE**

- (A) SUPPLY DIFFUSER TO BE 24"x24" W/ 10" NECK BY AIR GUIDE CORP. MODEL VFM. WHITE TRANSITION BOX BY HVAC CONTRACTOR.
- (B) SUPPLY DIFFUSER TO BE 10" DIA. 360° THROW BY HART & COOLEY.
- (C) SUPPLY DIFFUSER TO BE 4"x10" BY HART & COOLEY. FLUSH MOUNT WITH DRYWALL CEILING.
- (D) RETURN GRILL TO BE 1/2"x1/2" EGGRATE GRILL IN 24"x24" 22 GA. LINED SHEET METAL, 4" DEEP BOX WITH 1/4" COLLARS AND 1/4" LINED FLEX DUCT. BY HVAC CONTRACTOR.
- (E) RETURN GRILL TO BE 1/2"x1/2" EGGRATE GRILL IN 24"x24" 22 GA. LINED SHEET METAL, 4" DEEP BOX WITH 1/4" COLLARS AND 1/4" LINED FLEX DUCT.
- (F) PRESSURE RELIEF GRILL TO BE 24"x24" 1/2"x1/2" EGGRATE GRILL WITH 22"x46" 22 GA. SHEET METAL DUCT UP THROUGH AND 10" ABOVE INSULATION.
- (G) PRICE "TECHZONE" 6" CONTINUOUS SLOT DIFFUSER 1-SLOT TYPE-18
- (H) PRICE 360° RETURN GRILLE SURFACE MOUNT 48x10 NECK

**H.V.A.C. NOTES**

- SUPPLY AND RETURN ROUND DUCTS TO HAVE 1 1/2" THICK FIBERGLASS INSULATION WITH VAPOR BARRIER AND SHALL BE LABELED INDICATING INSULATING VALUE, FLAME SPREAD AND SMOKE DEVELOPMENT.
- RUN ALL DUCTS BETWEEN JOISTS/TRUSSES AND ROUND DUCTS THROUGH JOISTS/TRUSSES.
- METAL NON-INSULATED DUCT REQUIRED FROM BATHROOM. VENT FAN TO EXTERIOR WALL/ROOF CAN.
- ALL FLEXIBLE DUCTS SHALL NOT EXCEED 10 FEET IN LENGTH AND SHALL BE OF CLASS B RATINGS AND CONFORM TO ASTM B1 STANDARDS.
- AIR NOT RETURNED THROUGH CEILING FLENUM. LINED RETURN AIR DUCT USED AS NOTED.
- HVAC CONTRACTOR TO CONNECT SMOKE DETECTION DEVICE PROVIDED IN RETURN SIDE OF HVAC UNIT WIRE IN SERIES WITH ROOF TOP UNIT MOTOR. UPON ACTIVATION, THE SMOKE DETECTOR SHALL SHUT DOWN THE AIR DISTRIBUTION SYSTEM. DETECTION UNIT SHALL BE OF TYPE MANUFACTURED WITH REMOTE STATION THAT WILL NOTIFY STORE PERSONEL BY AUDIBLE SOUND AND VISUAL LIGHT FOR SYSTEMS SHUT DOWN. REMOTE STATION APPRATUS SHALL BE LOCATED WITHIN STORE AT A LOCATION NORMALLY ATTENDED BY STORE PERSONEL. (BRK MODEL "DH188AC-2" W/ R-188BDH - REMOTE TEST STATION W/ ALARM LIGHT. UL LISTED-265A. 300-3000 PPM/MIN.
- ROOF TOP UNIT. (SEE HVAC EQUIPMENT TABLE THIS SHEET) WITH KNOCK DOWN ROOF CURB, ECONOMIZER DAMPERS, CONTROLS AND REMOTE THERMOSTAT.
- ALL ROUND DUCT SHALL BE GALVANIZED WITH PAINT GRIP.
- ALL MECHANICAL EQUIPMENT SHALL BEAR PERMANENTLY AFFIXED METAL PLATE OR TAG INDICATING APPROVAL AGENCY NUMBER, MANUFACTURER, MODEL NUMBER, SERIAL NUMBER, TESTING AGENCY, FUEL TYPE, INPUT AND OUTPUT RATINGS.
- ALL HVAC DUCTWORK SHALL BE FABRICATED FROM GALV. STEEL HAVING 60% ZINC COATING. ALL METAL SHALL BE LOCK FORMING QUALITY AND MEET STANDARDS FOR ASTM A525 AND ASTM A521. FABRICATION AND INSTALLATION SHALL BE IN ACCORDANCE WITH SMACNA HVAC STANDARDS FOR METAL AND FLEXIBLE DUCT. ALL FLEXIBLE DUCTS SHALL BE CLASS B1 AND UL LISTED. ALL MATERIALS MUST BE LISTED AS SUCH BY MANUFACTURER.
- ALL NEW HVAC CONSTRUCTION SHALL CONFORM TO NEW OHIO MECHANICAL CODE (OMC) DATED NOVEMBER 1, 2011.
- COORDINATE ALL THERMOSTAT LOCATIONS WITH OWNER.
- ALL DUCTWORK IS LOW PRESSURE FABRICATED TO SMACNA STANDARDS.
- ALL FRESH AIR INTAKES SHALL BE MIN. 10' FROM EXHAUST OUTLET.



**VENTILATION AIR SCHEDULE**

UNIT	ROOM NAME	ROOM NUMBER	OCCUPANCY CLASSIFICATION	AREA SQ FT	OCCUPANT DENSITY PEOPLE/SQ FT	REQUIRED OCCUPANTS	PEOPLE O.A. FLOW RATE CFM/PERSON	AREA O.A. FLOW RATE CFM/SQ FT	REQUIRED O.A. CFM	ACTUAL O.A. CFM	ACTUAL SA CFM	NOTES
1	SALES AREA	100	SALES	2,130	15/1000	41	75	32	3080	760	3,860	1
1	WOMAN	102	TOILET	65	N/A	N/A	N/A	N/A	0	12	60	1
1	MENS	103	TOILET	65	N/A	N/A	N/A	N/A	0	18	90	1
1	BACK ROOM	104	STORAGE	420	N/A	N/A	N/A	26	31	60	350	1
1	RECEIVING	105	CORRIDOR	50	N/A	N/A	N/A	26	4	10	50	1

REQUIRED O.A. CFM FOR EACH SPACE IS CALCULATED AS FOLLOWS:  
 O.A. = ((AREA/1000) X OCCUPANTS/1000 SQ FT) + (AREA X CFM / SQ FT) AIR DISTRIBUTION EFFECTIVENESS.  
 ZONE AIR DISTRIBUTION EFFECTIVENESS = 0.80, BASED ON CEILING SUPPLY AND RETURN OF WARM AIR.  
 NOTES:  
 1. OUTDOOR VENTILATION AIR BASED ON TABLE 403.3/ 403.3.12 OMC 2011.

**BALANCE SCHEDULE**

SYSTEM	SUPPLY	RETURN	O.A.	EX
RTU-1	4,420	3,540	860	860

SUPPLY APPROXIMATELY EQUAL TO RETURN.  
 NOTE:  
 ALL RECTANGULAR SUPPLY & RETURN DUCTS SHALL BE INTERNALLY LINED WITH 1" THICK INSULATION.  
 ALL ROUND SUPPLY & RETURN DUCTS SHALL BE EXTERNALLY INSULATED WITH 1 1/2" THICK DUCT WRAP.

**LEGEND**

- (X) DIFFUSER TYPE DESIGNATION
- (20) NOTE REFERENCE NUMBER

**H.V.A.C. PLAN** 1/4" = 1'-0"

**REVISIONS**

NO.	DATE	DESCRIPTION
1	11-23-2016	ARCH. REVIEW BOARD UPDATE



A CONVENIENCE STORE FOR  
**UNITED DAIRY FARMERS**  
 2204 WEST DUBLIN GRANVILLE ROAD  
 COLUMBUS, OHIO 43085

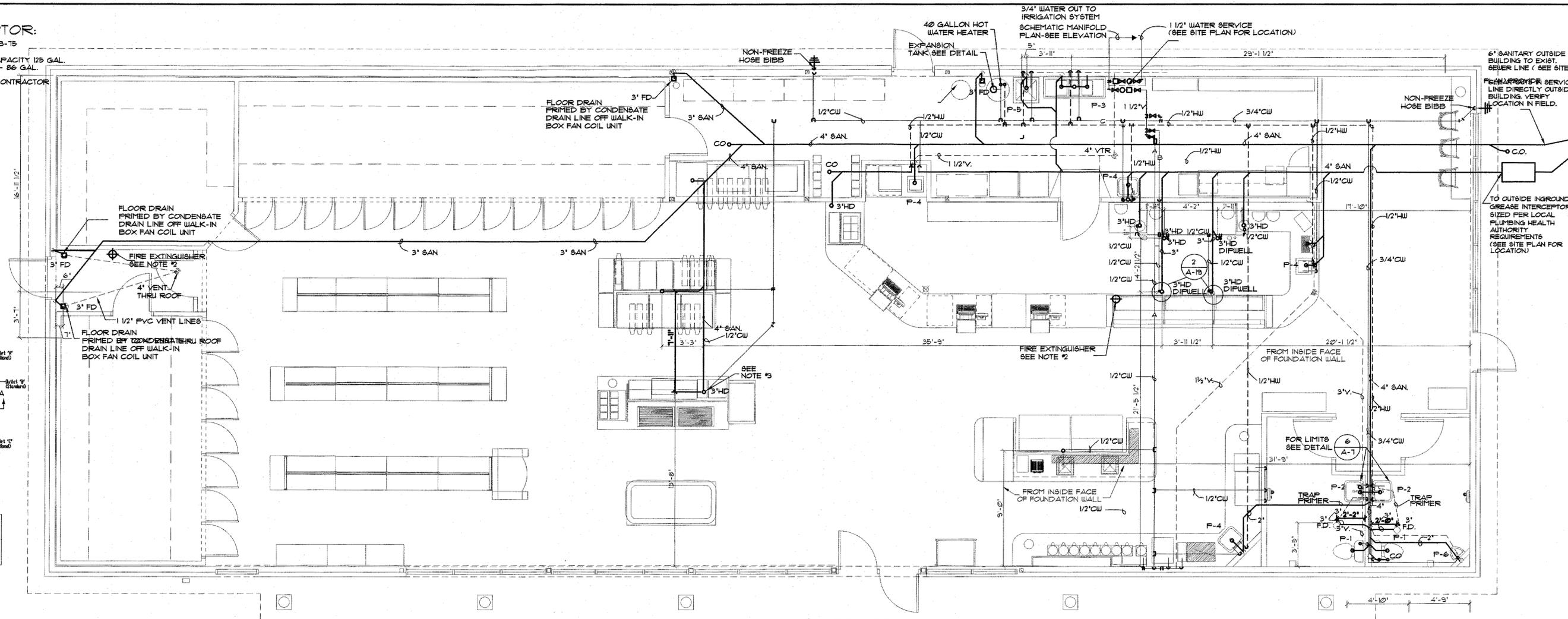
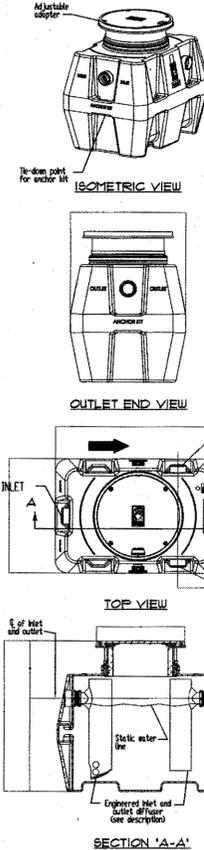
**JOHN D. JOHNSTON ARCHITECTS**  
 3955 MONTGOMERY ROAD  
 CINCINNATI, OHIO 45212 513-390-8743

JOB NO.	SHEET NO.
DRAWN BY	<b>A</b>
CHECKED BY	<b>19</b>
DATE	STORE NO.
11.17.16	<b>613</b>

**GREASE INTERCEPTOR:**

SCHIER PRODUCTS MODEL NO. GB-15  
 PART NO. 4045-001-XX  
 15 GPM POLYETHYLENE UNIT, CAPACITY 125 GAL.  
 MAXIMUM CAPACITY OF GREASE - 86 GAL.

FIELD LOCATION BY PLUMBING CONTRACTOR



**PLUMBING FIXTURE SCHEDULE**

ALL FIXTURES IN THIS SCHEDULE REQUIRED TO BE ACCESSIBLE PER ADA HAVE BEEN CHOSEN FROM MANUFACTURER'S STANDARD EQUIPMENT LISTED AS ADA APPROVED. HOT WATER AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST CONTACT. ALL CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. FORCE REQUIRED TO ACTIVATE CONTROLS SHALL NOT BE GREATER THAN 5 LB/F.

DESCRIPTION	SPECIFICATION
P-1 WATER CLOSET	AMERICAN STANDARD #2100.400 'CADET' ELONGATED SIPHON JET ACTION, CLOSE-COUPLED, WHITE VITREOUS CHINA. #3405-016 SUPPLY STOP, BEMIS #955-55/C SEAT.
P-2 LAVATORY	CUSTOM LAVATORY W/ SINK BOWL BY CABINET MAKER. PLUMBER RESPONSIBLE FOR ALL HOOK-UPS. PLUMBER TO SUPPLY AND INSTALL HARDWARE: AMER. STANDARD HERITAGE LEVER HANDLE, CENTER SET FAUCET #2103.620 W/ GRID, STRAINER, BRASS CRAFT SUPPLY AND P-TRAP.
P-3 & P-4 FIXTURES	3-COMP SINK (P-3) AMTEKO C-3-1618-D, HAND SINK (P-4) BY PLUMBER. BOTH TO BE INSTALLED BY PLUMBER.
P-5 MOP SINK	WILLIAMS 'MTB' TERRAZZO BASIN, 24"x24", WITH 3" 55 DRAIN #1-15V5 SINK FAUCET.
P-6 URINAL	AMERICAN STANDARD ALLBROOK #65-1021T VITREOUS CHINA WALL-HUNG URINAL WITH SLOAN ROYAL #102-15 GALLON FLUSH VALVE. (MIN. 14" PROJECTION) SET, WITH RIM MAX. 17" AFF.
P-7 3 COMP SINK & 4 ALL DIFUELLS	3 COMPARTMENT SINK - AMTEKO CDI-3-1014 APPROVED EQUAL.
MANIFOLD SHUT-OFF VALVES	'APOLLO' WITH STAINLESS STEEL BALL VALVES OR APPROVED EQUAL.
BACK-FLOW PREVENTERS	AS REQUIRED BY PLUMBING, HEALTH, AND/OR WATER DEPARTMENTS.
FILTER	SUPPLIED BY UDF, INSTALLED BY PLUMBER.
ELECTRIC WATER HEATER	40 GALLON ELECTRIC WATER HEATER - 81-V RHEEM, 5 YEAR ENERGYWIZER - 208 VOLTS, 1 1/2" 3500 KILOWATTS TO MEET ANSI C-12-1-12.
CLOSED SYSTEM EXPANSION TANK	FERGUSON 'THERM-X-TROL 6T-5' 2 GALLON UNIT WITH 3/4" CONNECTIONS, MAX PRESSURE 150 PSI, TEMP 200°F
HOSE HYDRANT	JOSAM #400-N WALL HYDRANT, BRASS CASING, LOOSE KEY OPERATED WITH VACUUM BREAKER.
FLOOR DRAIN	JOSAM 30500-A3.
BATHROOM FLOOR DRAIN TRAP PRIMER	JR SMITH NO. 2699 AUTOMATIC WATER SAVER TRAP PRIMER
P-8 DUMP SINK	FRANK MODEL ARX106 UNDERCOUNTER STAINLESS STEEL SINK WITH GOOSENECK SINGLE HANDLE CW FAUCET

**PLUMBING MATERIAL SCHEDULE**

USE	TYPE
WATER PIPING UNDERGROUND	TYPE 'K' COPPER
WATER ABOVE GROUND	1" HARD COPPER SOLDERED JOINTS
DWV UNDERGROUND	SCH. 40 PVC WITH PVC FITTINGS
DWV ABOVE GROUND	SCH. 40 PVC WITH PVC FITTINGS
STORM WATER PIPE	SCH. 40 PVC WITH GLUED PVC FITTINGS
WATER ABOVE GROUND INSULATION	1" FIBERGLASS WITH STANDARD JACKET, QUENS CORNING OR EQUAL - OR 3/4" FOAMED PLASTIC AT ALL LOCATIONS OUTSIDE INSULATED OR HEATED AREAS.
GAS PIPING	SCH. 40 BLACK STEEL PER GAS COMPANY REGULATIONS.

**FIXTURE CONNECTION SCHEDULE**

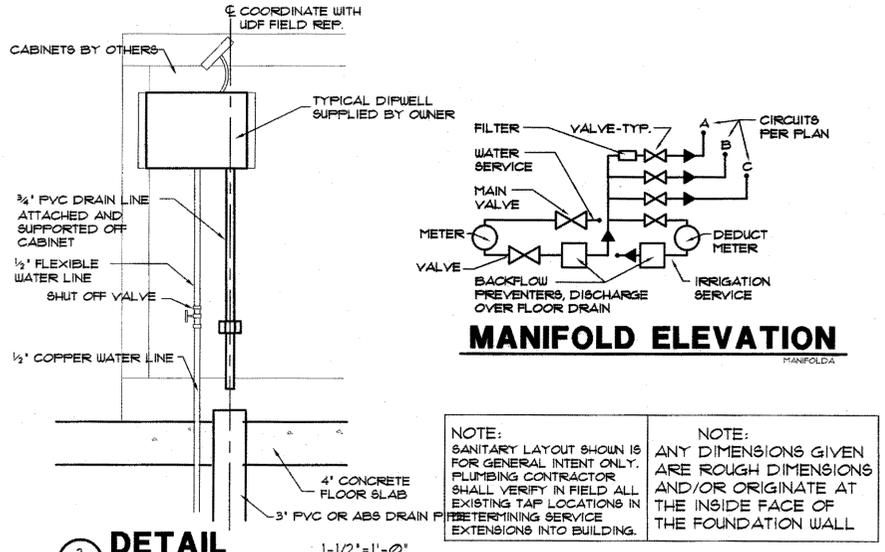
MARK / DESCRIPTION	W	A	V	T	TRAP	H	U	C	W	REMARKS
P-1 WATER CLOSET	3'	1 1/2'	3'	--	1/2'					
P-2 LAVATORY	1 1/2'	1 1/2'	1 1/2'	1/2'	1/2'					
P-3 (3) COMP. SINK	2'	1 1/2'	2'	1/2'	1/2'					GREASE TRAP FURNISHED & INSTALLED BY PLUM. CONTR. SINK FURNISHED BY UDF, INSTALLED BY PLUM. CONTR. INSTALLED BY PLUMBER.
P-4 HAND SINK	1 1/2'	1 1/2'	1 1/2'	1/2'	1/2'					
P-5 MOP SINK	3'	1 1/2'	3'	1/2'	1/2'					
P-6 URINAL	1 1/2'	1 1/2'	1 1/2'	--	3/4'					

**PLUMBING PLAN** 1/4" = 1'-0"

- 1) PLUMBER MUST SUBMIT AS BUILT DRAWINGS OF UTILITIES UNDERGROUND ON SITE AND/OR WITHIN BUILDING PRIOR TO RECEIVING FINAL PAYMENT.
- 2) PROVIDE 10# ABC FIRE EXTINGUISHER AND HANGER #441-UL4A 60 BC RATING, (4) REQUIRED, DESIGNATED BY ⊕
- 3) STUB WATER UP INTO BASE CABINET AND CAP FOR FUTURE USE.

**LEGEND**

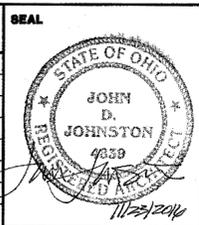
- COLDWATER
- HOT WATER
- SANITARY
- VENT



**DETAIL** 1-1/2" = 1'-0"

DIFUELL DRAIN INDIRECT DRAIN PER OBC SECTION 802 REVIEW AND VERIFY W/LOCAL PLUMBING AUTHORITY

REVISIONS	DATE	DESCRIPTION
1	11-23-2016	ARCH. REVIEW BOARD UPDATE



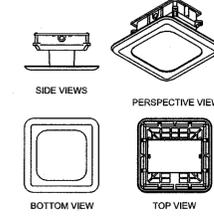
A CONVENIENCE STORE FOR  
**UNITED DAIRY FARMERS**  
 2204 WEST DUBLIN GRANVILLE ROAD  
 COLUMBUS, OHIO 43085

**JOHN D. JOHNSTON ARCHITECTS**  
 3955 MONTGOMERY ROAD  
 CINCINNATI, OHIO 45212 513-396-8743

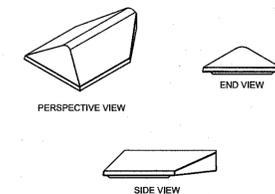
JOB NO.	SHEET NO.
DRAWN BY	<b>A 20</b>
CHECKED BY	
DATE	11.17.16
STORE NO.	613

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
[Symbol A]	20	A	SINGLE	CRUS-SC-LED-SS-CW-UE	0.900	N.A.	13554	114
[Symbol B]	1	B	SINGLE	XLCM-FT-LED-HD-CW-HSS-S-15' MH	0.900	N.A.	22707	274.7
[Symbol B1]	3	B1	SINGLE	XLCM-FT-LED-HD-CW-HSS-S-19' MH	0.900	N.A.	22707	274.7
[Symbol C]	1	C	SINGLE	XLCM-5-LED-HD-CW-S-15' MH	0.900	N.A.	31142	276.4
[Symbol C1]	1	C1	SINGLE	XLCM-5-LED-HD-CW-S-19' MH	0.900	N.A.	31142	276.4
[Symbol D]	10	D	SINGLE	SCONCE FIXTURE BY OTHERS	0.00	N.A.	3844	0
[Symbol E]	4	E	SINGLE	XASU-FT-LED-64-SS-CW-HSS-15' MH	0.900	N.A.	5131	68

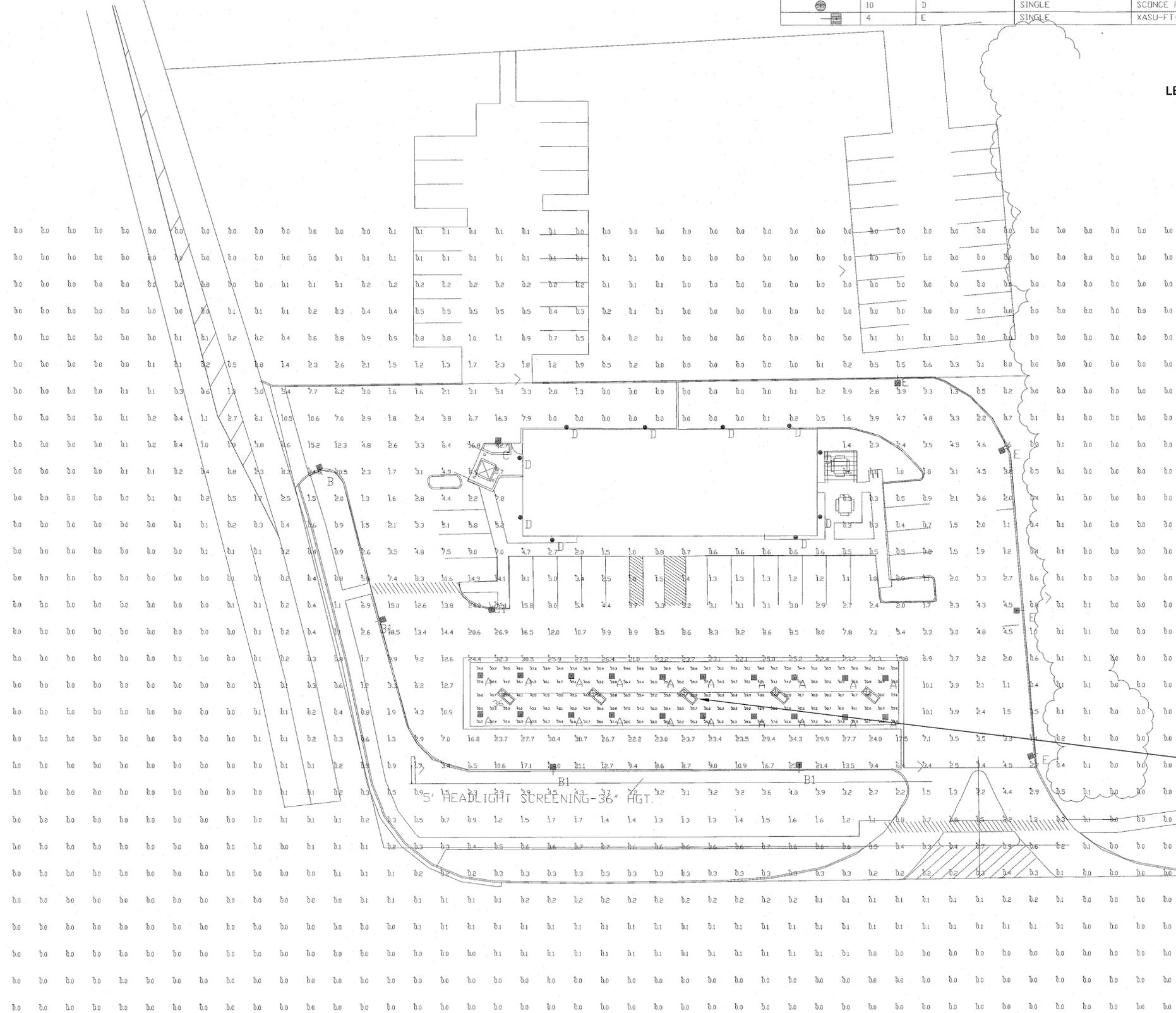
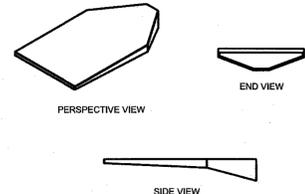
**CRUS-SC-LED  
LED CANOPY LIGHT - LEGACY**



**XASU  
LED Crossover Area Light**

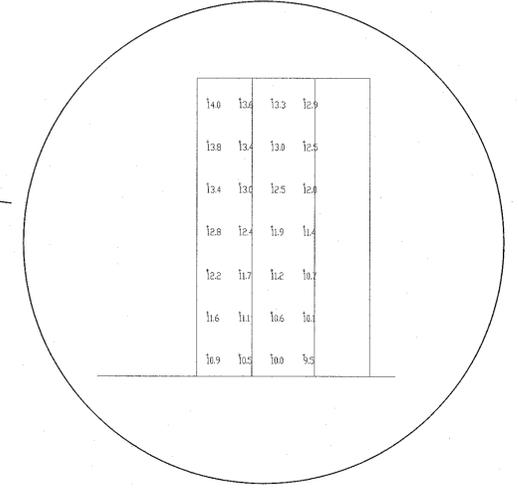


**XLCM  
LED Crossover Area Light**



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	2.04	42.7	0.0	N.A.	N.A.
Canopy Summary	Illuminance	Fc	36.47	46.1	0.0	N.A.	N.A.
Pump Vertical	Illuminance	Fc	12.00	14.0	9.5	1.26	1.47
INSIDE CURB	Illuminance	Fc	8.30	42.7	0.0	N.A.	N.A.

**Vertical Pump**



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts: 1  
Total Watts = 4203.6

**LIGHTING PROPOSAL** LD-121741-4  
UNITED DAIRY FARMERS  
DUBLIN RD  
GRANTVILLE, OH

DATE: 5/2/14 REV: 9/25/2014 SHEET 1 OF 1  
SCALE: 1"=20'

*J. H. [Signature]*



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
Certificate of Appropriateness  
Application

Case # AR 129-16  
Date Received 11-7-16  
Fee \$15  
Meeting Date 12-8-16  
Filing Deadline \_\_\_\_\_  
Receipt # 62922

1. Property Location 661 Evening St, Worthington OH 43085

2. Present/Proposed Use Residential, single family dwelling

3. Zoning District \_\_\_\_\_

4. Applicant Allen Eiger and Joanne Dole

Address 661 Evening St, Worthington OH 43085

Phone Number(s) 614-330-5331 or 614-374-5729

5. Property Owner Allen Eiger and Joanne Dole

Address 661 Evening St, Worthington OH 43085

Phone Number(s) 614-330-5331 or 614-374-5729

6. Project Description Installation of 17 Solar Panels

7. Project Details:

a) Design see attachment

b) Color see attachment

c) Size each panel is 38" x 76"

d) Approximate Cost \$15,000 Expected Completion Date March 30, 2017

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Joanne Dole Allen Eiger  
Applicant (Signature) 11/7/16  
Date

Joanne Dole Allen Eiger  
Property Owner (Signature) 11/7/16  
Date

Abutting Property Owners List for  
661 Evening St.

David & Kathleen Griffin		669 Evening St.	Worthington, OH 43085
John Moe	Paula Baker	678 Evening St.	Worthington, OH 43085
Pamela Smith		672 Evening St.	Worthington, OH 43085
Steven & Akiko Pullen		653 Evening St.	Worthington, OH 43085
Martha Lopeman		652 Sinsbury Dr. E.	Worthington, OH 43085
Aaron McGreevy	Molly Morris	660 Sinsbury Dr. E.	Worthington, OH 43085

Allen Eiger and Joanne Dole  
661 Evening St

## **PLACEMENT OF SOLAR PANELS**

While deciding where to place our solar panels, we had three criteria as our guidelines:

1. Minimizing visibility from the Historic District
2. Awareness of the AEP's need to provide a stable and reliable grid and meet the power demand during peak demand hours during late afternoon
3. Maximizing efficiency and productivity of the solar panels

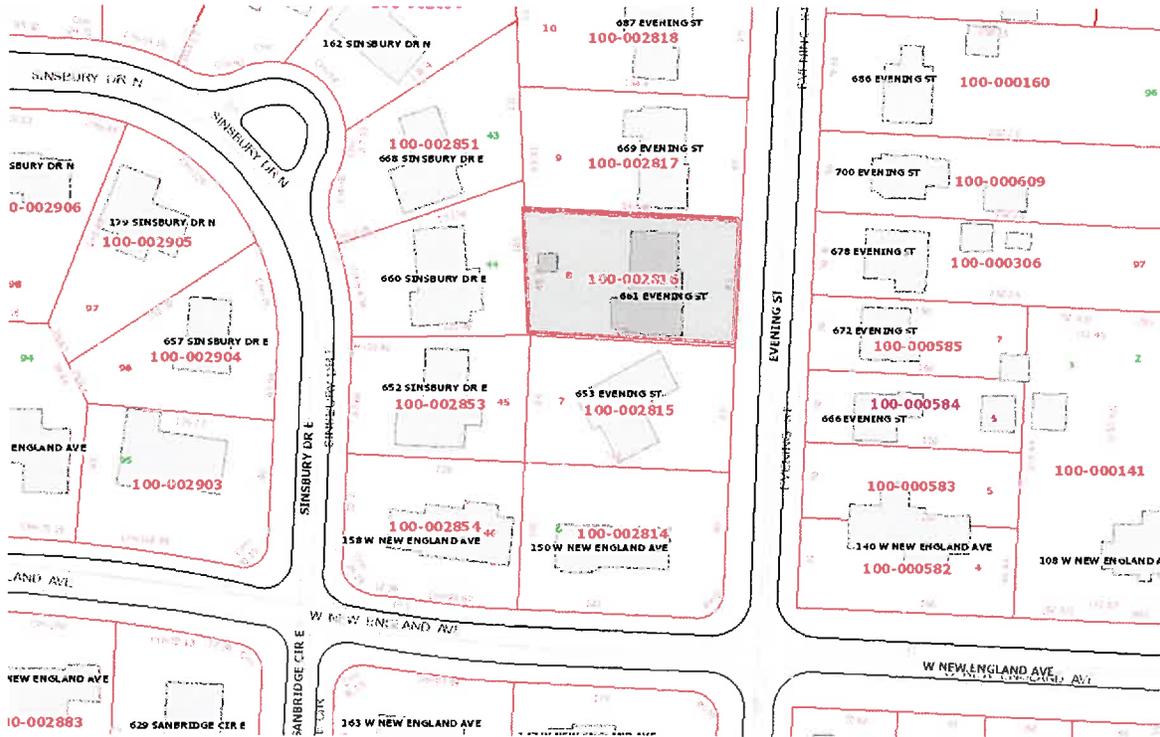
To meet the **#1 objective**, we chose to place **no** panels on the East-facing (Evening St) roof. The majority of panels being placed on the backside of the house (West roof) will ensure this.

To achieve the **#2 objective**, we decided to place most of our panels (12) on the West roof. Those panels will **not** be visible from the Historic District. Typically utility electricity demand loads peak in late afternoon and early evening, due to the use of lights, appliances, heating and air-conditioning systems, water heaters, etc., in homes after work and school. That's also the time of day when West facing panels will be receiving good solar exposure.

However, going with **ONLY** with West-facing panels will not reach the top of their design efficiency and productivity, and won't meet our capacity goal of 5kW array (without significantly increasing the number of panels and making the project cost-prohibitive for us). So to help meet the **#3 goal**, we decided to place 5 panels on the small South-facing roof section over the garage. These 5 panels will significantly raise the overall efficiency and productivity of the entire array, increasing the weighted-average of every panel. Those panels will have limited visibility from Evening Street, but only from a small angle from the Southern direction (please see the photo below).

This placement of panels is a good balanced approach which is a win-win-win with respect to our three goals, making the project feasible for us in terms of power production capacity and cost. Even with this placement (ensuring minimal visibility), the solar system produces extremely well and will ensure that over 350,000 pounds of CO2 are not emitted into the atmosphere. Also, given the CO2 absorption qualities of trees, installing this solar system is the equivalent of planting over 17,000 trees over the life of the system.

# 661 Evening St.



100-002816 04/09/2014

**661 Evening Street, Solar Panels project**

The image below is from Google Sunroof Project (with the red arrow added by us). This project uses satellite images and computes solar exposure of roofs. The lighter the color, the better the solar exposure of the roof.

As can be seen, the small South facing section where the red arrow points is the best part of our roof for solar panels. Utilizing this section will drastically improve the efficiency of our entire array, also allowing us to send more power to the grid when we generate more than we consume.



CITY OF WORTHINGTON  
AR 129-16  
DRAWING NO.  
DATE 11-7-16



# 5.44kW Solar Project

661 Evening Street, Worthington, Ohio 43085

The proposed Solar System consists of the following :

- 17 Canadian Solar 320 Watt solar panels. These will be installed on the left and backsides of the roof.
- 1 SolarEdge Inverter mounted in the basement.
- Iron Ridge rails and Flashed L-Feet

A plot plan of the system is provided below.



CITY OF WORTHINGTON  
AR 1209-16  
DRAWING NO.

DATE 11-7-16



Some sample installations are provided below.



Specification Sheets are attached. The system is engineered for local maximum 90 MPH winds.  
All work is performed according to NEC 2014.

CITY OF WORTHINGTON  
AR 129-116  
DRAWING NO.

DATE 11-7-16



CITY OF WORTHINGTON  
AR 129-16  
DRAWING NO.

DATE 11-7-16



CITY OF WORTHINGTON  
DRAWING NO. AR 129-16  
DATE 11-7-16



CITY OF WORTHINGTON  
AR 129-16  
DRAWING NO.  
DATE 11-7-16



CITY OF WORTHINGTON  
AR 129-16  
DRAWING NO.

DATE 11-7-16



**City of Worthington**  
**ARCHITECTURAL REVIEW BOARD**  
 Certificate of Appropriateness  
 Application

Case #	AR 130-16
Date Received	11/18/16
Fee	\$3.00
Meeting Date	12/8/16
Filing Deadline	
Receipt #	62974

1. Property Location 215 E Dublin Granville Rd

2. Present/Proposed Use private residence

3. Zoning District S-1Y

4. Applicant Rebecca Ament

Address 215 E Dublin Granville Rd Worthington, OH 43085

Phone Number(s) 614 436 3566 (H) 614 832 0518 (cell)

5. Property Owner Rebecca Ament

Address same as above

Phone Number(s) \_\_\_\_\_

6. Project Description Replace existing deteriorating fence

7. Project Details:

a) Design attached picture

b) Color natural cedar

c) Size 42" high

d) Approximate Cost \$3,130 Expected Completion Date 12/14/16

**PLEASE READ THE FOLLOWING STATEMENT AND SIGN YOUR NAME:**

The information contained in this application and in all attachments is true and correct to the best of my knowledge. I further acknowledge that I have familiarized myself with all applicable sections of the Worthington Codified Ordinances and will comply with all applicable regulations.

Rebecca Ament  
 Applicant (Signature)

11/18/16  
 Date

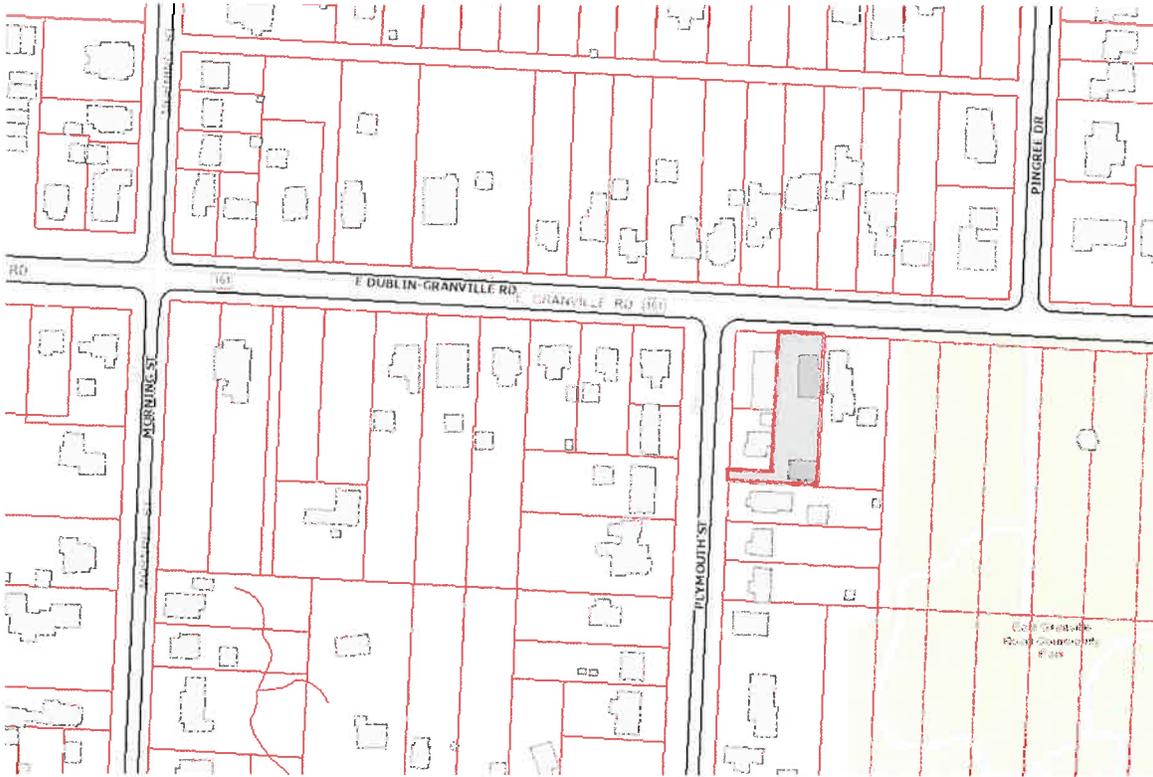
Rebecca Ament  
 Property Owner (Signature)

11/18/16  
 Date

Abutting Property Owners List for  
215 E. Granville Rd.

Richard Yoerger Resident	Janet Mackenzie	3651 Patrick Rd. 208 E. Granville Rd.	Sunbury, OH 43074 Worthington, OH 43085
Robert Mora		214 E. Granville Rd.	Worthington, OH 43085
Jill Lukshin	Justin Hoff	220 E. Granville Rd.	Worthington, OH 43085
Martin & Mary Walsh		219 E. Granville Rd.	Worthington, OH 43085
Donna Sterling		698 Plymouth St.	Worthington, OH 43085
Jennifer Murnane		704 Plymouth St.	Worthington, OH 43085
Elizabeth Tait	Ralph Leech	211 E. Granville Rd.	Worthington, OH 43085

# 215 E. Granville Rd.



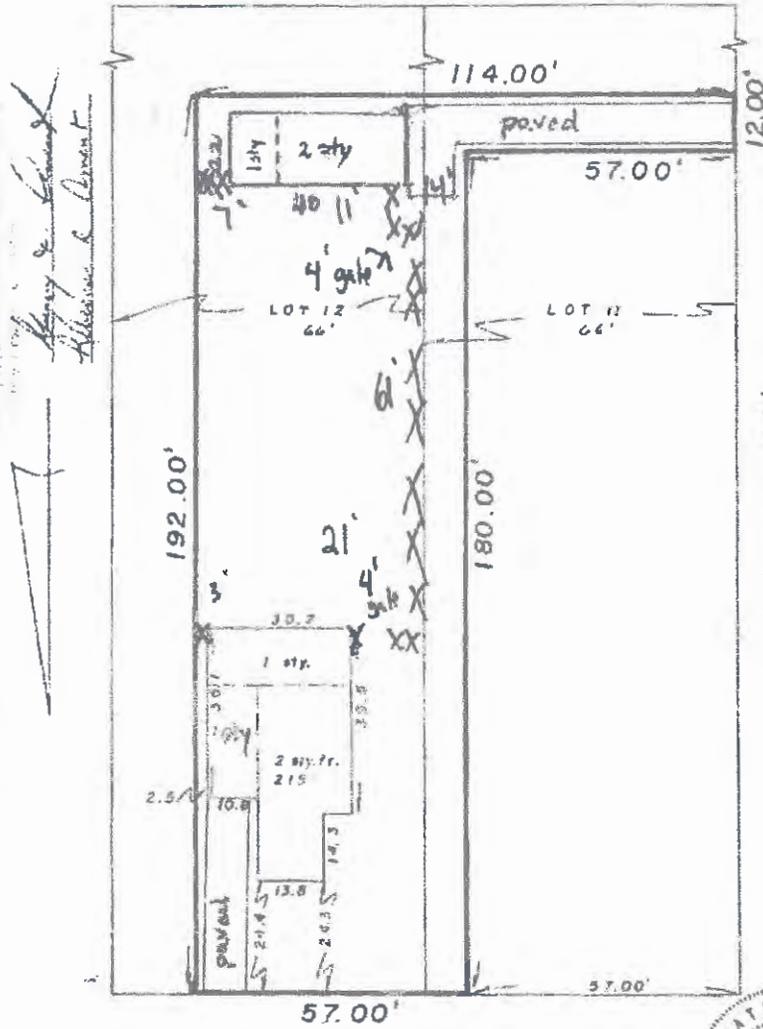
100-000466 04/09/2014

# MYERS SURVEYING CO.

2740 East Main Street, Columbus 43208 (Hexley), Ohio

PART OF LOTS 11 & 12 MORRIS ADD'N. WORTHINGTON, OHIO  
 FOR  
 AMERICAN REALTY TITLE ASSUR. CO.  
 AND/OR  
 MID-AMERICA FEDERAL SAVINGS & LOAN ASS'N.

P.B. 1 Page 119 Flood Zone "C" as per P.I.R.M. # Franklin Co. Rec. Office  
 Scale 1"=25' 390181-0004-B 1-24-'86



E. DUBLIN-GRANVILLE RD. 66'  
 ( S.R. #161 )

We hereby certify that the foregoing plat was prepared from an actual survey of the premises. No side line of principal building is less than dimension shown. Iron pins not set unless indicated thus -0-. For Mortgage Loan & Title Insurance purposes only.

MYERS SURVEYING CO.  
 By Albert Myers  
 Registered Surveyor



AMENT

FILE NO. 819004  
 44-11-99-28

17 18 19 20 21 22

CITY OF WORTHINGTON  
 AR 130-16  
 DRAWING NO.  
 DATE 11-18-16



725 Kintner Parkway  
 Sunbury, OH 43074  
 Tel. 614.929.3526  
 Fax. 740.936.5452  
 www.MaeFence.com

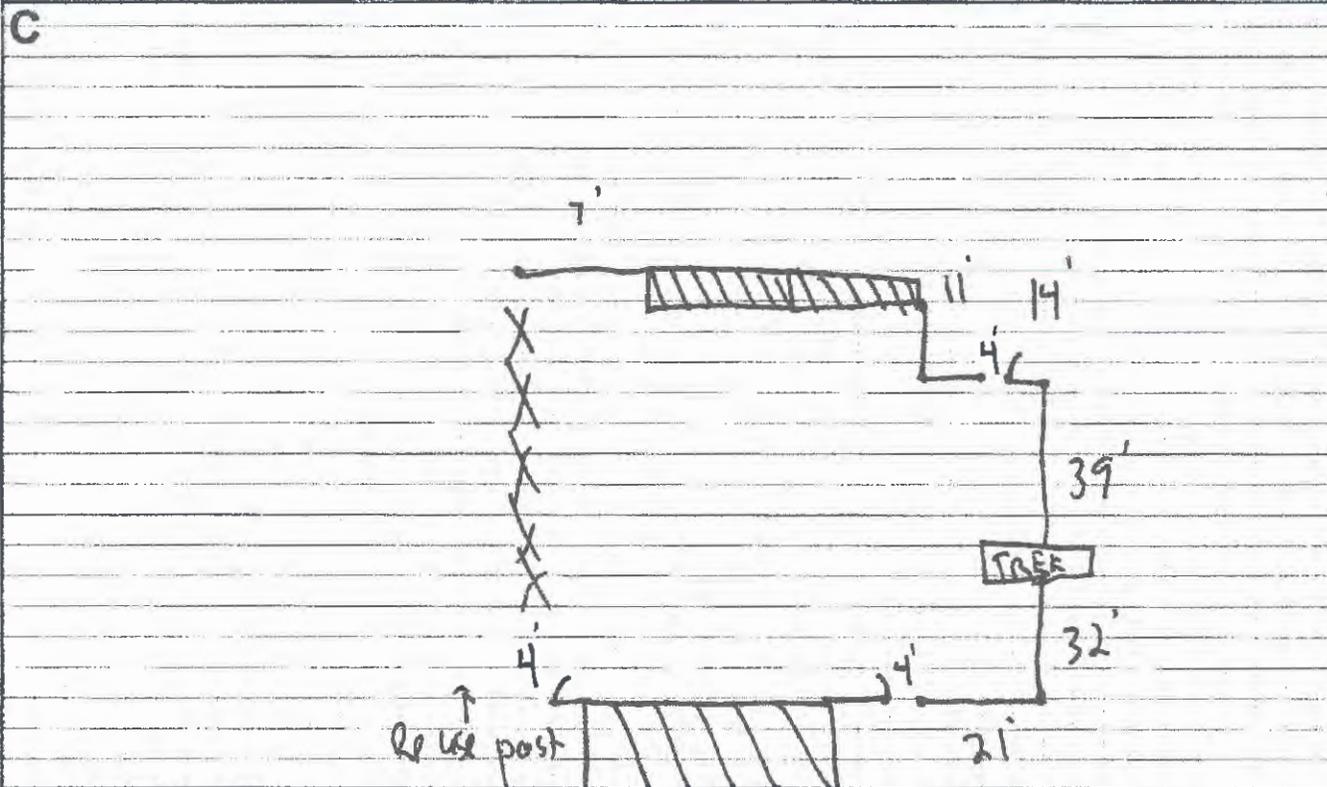
Notes:  
 - Worthington Review Board.  
 - Paying deposit crew approved.

Proposal Date: 11-10-16  
 Expiration Date:  
 Target Install Date: 12-12-16

Name: Becky Amant Job Name:  
 Address: 215 East Dublin Granville Rd. Job Address:  
 City, State, Zip: Worthington 43085 Email:  
 Home Phone: 614-832-0518 Cell: County/ Township/ Subdivision:  
 Other:

**Prior to Installation:**  
 Customer is responsible for obtaining permits and getting approval from townships and/or homeowners association.  
 Customer will furnish Mae Fence with a copy of the plat of survey. Mae Fence is not responsible for any damage from survey inaccuracies.  
 Mae Fence will notify utilities to request the location of any public underground lines prior to installation.

**Please Review:**  
 Dirt removal is not included unless otherwise specified.  
 The fence will follow the existing grade unless otherwise specified.  
 Under no circumstances is Mae Fence responsible for damages to private lines and/or items not professionally located by utility companies.  
 Customer understands checking (cracking) in wood is normal and will not impact the structural integrity of the material.



Total Footage: 128'  
 T.D: FTG 128  
 Haul: FTG 128  
 Wood  
 Link  
 Other  
 Haul Dirt:  
 Yes \$ 200  
 No  
 # Breaks  Con  Asp  
 Transition Slopes:  
 Removable Panels:  
 Permits/Approvals:  
 Yes \$ 45  
 No  
 City and Association fees are not included in the cost of the approvals.

PAYMENT TERMS:		Payment 1		Payment 2		Payment 3		TOTAL	\$
<input checked="" type="checkbox"/> 33 % DEPOSIT	Balance to be paid to installation crew chief or office upon completion	\$	Date	\$	Date	\$	Date		
<input type="checkbox"/> % DEPOSIT		V M D A Check		V M D A Check		V M D A Check		DEPOSIT	\$
Terms:		#		#		#		BALANCE	\$
		Exp	Sec	Exp	Sec	Exp	Sec		

**ACCEPTANCE OF PROPOSAL:**  
 YOU, THE CONSUMER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION

The above prices, specifications and conditions are satisfactory and are hereby accepted. Payment will be made as outlined in this contract. All work is to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra charges will be executed only upon written orders and will become an extra cost over and above the sale price. Cancellation of this contract after three business days will result in a 20% restocking fee. In the event of a default payment, Mae Fence may place the account with an agency and/or attorney for collection. Mae Fence may record and enforce a mechanic's lien against the property on which the project was installed accordance with the Mechanic's Lien Act, as amended. Customer agrees to pay all fees and costs associated with default payments. Our employees are fully covered by workman's compensation insurance.

Payment is due immediately following installation.

Company Representative: Adrian 614-581-2876 Customer Signature: \_\_\_\_\_

CITY OF WORTHINGTON  
AR 130-16  
 DRAWING NO.  
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Name:

Amount

Target Install Date:

Height 42'	<input checked="" type="checkbox"/> Spaced Picket <input type="checkbox"/> Decorative Top <input type="checkbox"/> Solid Privacy <input type="checkbox"/> Board on Batton <input type="checkbox"/> Shadow Board <input type="checkbox"/> Rail <input type="checkbox"/> Other: _____	Spacing 2"	Board Size: 4" Board Cut: Pent Description: _____	<input checked="" type="checkbox"/> Cedar <input type="checkbox"/> Treated Pine <input type="checkbox"/> Other
---------------	--	---------------	---	--

Pattern:

	Middle Frame /	# of Face Caps 	Other:
--	-------------------	--------------------	--------

# of Frames / Rails 2	<input checked="" type="checkbox"/> Cedar <input type="checkbox"/> Treated Pine <input type="checkbox"/> Other	Framing Construction 	Other:
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Post Size 4"	<input checked="" type="checkbox"/> Cedar <input type="checkbox"/> Treated Pine <input type="checkbox"/> Other	Post Top Br Caps	
-----------------	--	---------------------	--

# of Gates: 3 # of Single: 3 # of Double: 6	<input checked="" type="checkbox"/> Black <input type="checkbox"/> Gravity Latch <input type="checkbox"/> Galvanized <input checked="" type="checkbox"/> 2 - Way Latch <input type="checkbox"/> Other <input type="checkbox"/> Drop Rod	Notes: 7-4'	Post Set: <input type="checkbox"/> Wet Set Concrete <input checked="" type="checkbox"/> Dry Set Concrete <input type="checkbox"/> Other:
---	---	----------------	---

# of Arbors: 1 <input type="checkbox"/> 2 - Post <input type="checkbox"/> Crescent <input type="checkbox"/> 4' Wide <input type="checkbox"/> 4 - Post <input type="checkbox"/> Traditional <input type="checkbox"/> Other:	Wire 
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\$3,000

coupon - 350

\$2,650

Take down  
Remove old  
Fence = \$480

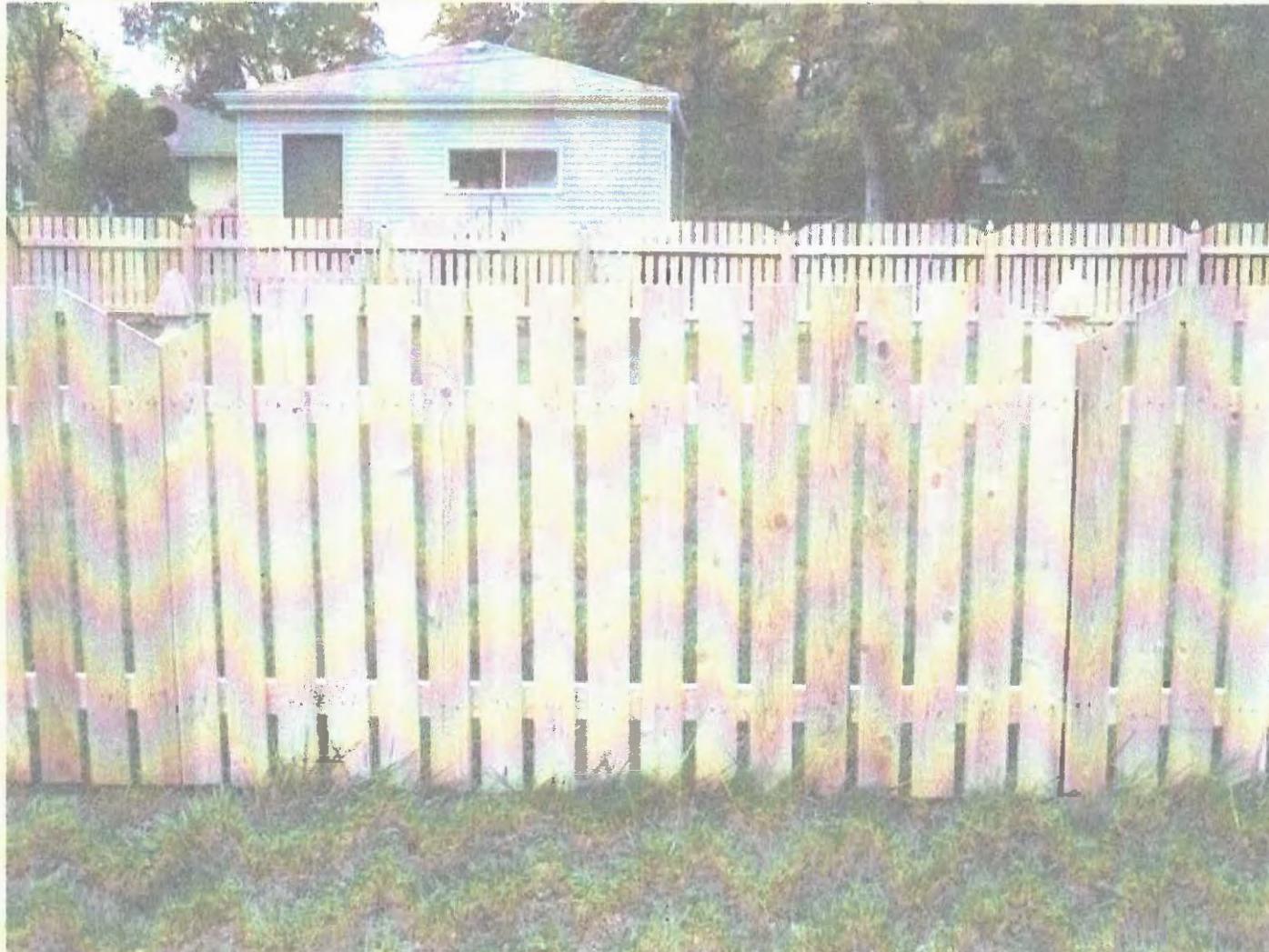
CITY OF WORTHINGTON  
AR 130-16  
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GRAND TOTAL \$ 3,170



# Mae Cedar



CITY OF WORTHINGTON  
AR 130-16  
DRAWING NO.

DATE 11-18-16